



City of Fitchburg
Planning/Zoning Department
5520 Lacy Road
Fitchburg, WI 53711 (608-270-4200)

SMARTCODE BUILDING/SITE PLAN APPLICATION (ARTICLE 5)

1. Location of Property:
Street Address: Lot 12 @ East Cheryl Parkway, 1st Addition to Nine Springs
Legal Description - (Metes & Bounds, or Lot No. And Plat): Lot 12 (Bldg #2)
2. Description of Project: 36 Unit Apartment building w/ underground parking
3. Existing Transect Zone: T5 Article 3 or Article 4 approval date: _____
4. Size of Site: .84 acres Site Density (if applicable): 43 units/acre
5. Building/Site Plan applications shall provide plans and information showing the following:

- | | |
|---|---|
| <input type="checkbox"/> 1. Building Disposition | <input type="checkbox"/> 12. Landscape Standards |
| <input type="checkbox"/> 2. Building Configuration | <input type="checkbox"/> 13. Signage Standards |
| <input type="checkbox"/> 3. Building Use | <input type="checkbox"/> 14. Special Requirements, if any |
| <input type="checkbox"/> 4. Parking calculation & location | <input type="checkbox"/> 15. Architectural Standards |
| <input type="checkbox"/> 5. Number of dwelling units | <input type="checkbox"/> 16. Fencing Standards |
| <input type="checkbox"/> 6. Base Residential Density | <input type="checkbox"/> 17. Lighting Standards |
| <input type="checkbox"/> 7. Building square footage | <input type="checkbox"/> 18. Statistics, maps and other documentation |
| <input type="checkbox"/> 8. All requests for Administrative Waivers, if any | showing how the Article 5 application, in |
| <input type="checkbox"/> 9. All requests for Administrative Approvals, if any | combination with the past approved Article 5 |
| <input type="checkbox"/> 10. All known requests for Conditional Use | plans, will meet the approved Community |
| Permits, if any | Regulating Plan, and the standards of this |
| <input type="checkbox"/> 11. Civic Building design(s) | Chapter. |

***Also submit all mapping in either CADD or GIS files

Current Owner(s) of Property: Avant Properties
Address: 120 E. Lakeside Madison, WI Phone No.: 608. 294. 4085
Contact Person: Karyl Lynn Bruckner E-mail: Karyllynn@avantproperties.com
Address: _____ Phone No.: _____

Respectfully Submitted By: [Signature] Date: 10/2/12
Owner's or Authorized Agent's Signature
(If multiple owners, application shall include statement of consent by all property owners)

PLEASE NOTE – Applicants shall be responsible for legal or outside consultant costs incurred by the City. It is the responsibility of the owner/applicant to insure compliance with all local and state requirements.

*Application shall be accompanied by one (1) PDF document of complete submittal, one (1) full-size set of plans, two (2) reduced sets of plans (11" x 17"), and the required CADD or GIS files for mapping.

FOR CITY USE ONLY

Date Received: 10/2/2012 Permit Request No.: _____

[Signature]
10-4-2012

APPROVED

Approval is based on plan set dated 10/2/2012, accompanying materials + responses to staff comments, along with approved Administrative Waivers #1 + #2. Approval is subject to obtaining approval of waiver to 5.7.5(f) to allow use of hedges for streetscreen.



City of Fitchburg
Planning/Zoning Department
5520 Lacy Road
Fitchburg, WI 53711 (608-270-4200)

SMARTCODE BUILDING/SITE PLAN APPLICATION (ARTICLE 5)

1. Location of Property: 1st Addition to Nine Springs
Street Address: Lot 13 @ East Cheryl Parkway + Syene
Legal Description - (Metes & Bounds, or Lot No. And Plat): Lot 13 (Blk #1)
2. Description of Project: 48 Unit Apartment w/ underground pkg.
3. Existing Transect Zone: T5 Article 3 or Article 4 approval date: _____
4. Size of Site: .73 acres Site Density (if applicable): 65 units/acre
5. Building/Site Plan applications shall provide plans and information showing the following:

- | | |
|---|---|
| <input type="checkbox"/> 1. Building Disposition | <input type="checkbox"/> 12. Landscape Standards |
| <input type="checkbox"/> 2. Building Configuration | <input type="checkbox"/> 13. Signage Standards |
| <input type="checkbox"/> 3. Building Use | <input type="checkbox"/> 14. Special Requirements, if any |
| <input type="checkbox"/> 4. Parking calculation & location | <input type="checkbox"/> 15. Architectural Standards |
| <input type="checkbox"/> 5. Number of dwelling units | <input type="checkbox"/> 16. Fencing Standards |
| <input type="checkbox"/> 6. Base Residential Density | <input type="checkbox"/> 17. Lighting Standards |
| <input type="checkbox"/> 7. Building square footage | <input type="checkbox"/> 18. Statistics, maps and other documentation |
| <input type="checkbox"/> 8. All requests for Administrative Waivers, if any | showing how the Article 5 application, in |
| <input type="checkbox"/> 9. All requests for Administrative Approvals, if any | combination with the past approved Article 5 |
| <input type="checkbox"/> 10. All known requests for Conditional Use | plans, will meet the approved Community |
| Permits, if any | Regulating Plan, and the standards of this |
| <input type="checkbox"/> 11. Civic Building design(s) | Chapter. |

***Also submit all mapping in either CADD or GIS files

Current Owner(s) of Property: Avante Properties
Address: 120 E. Lakeside Madison, WI Phone No.: 608.294.4085
Contact Person: Karyl Lynn Bruckner E-mail: Karyllynn@avanteproperties.com
Address: _____ Phone No.: _____
Respectfully Submitted By: [Signature] Date: 10/2/12
Owner's or Authorized Agent's Signature
(If multiple owners, application shall include statement of consent by all property owners)

PLEASE NOTE – Applicants shall be responsible for legal or outside consultant costs incurred by the City. It is the responsibility of the owner/applicant to insure compliance with all local and state requirements.

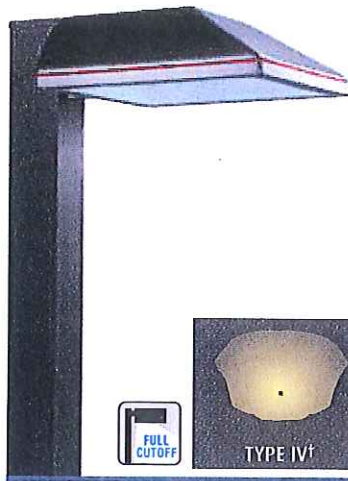
*Application shall be accompanied by one (1) PDF document of complete submittal, one (1) full-size set of plans, two (2) reduced sets of plans (11" x 17"), and the required CADD or GIS files for mapping.

FOR CITY USE ONLY

Date Received: 10/2/2012 Permit Request No.: _____

[Signature] 10-4-2012 **APPROVED**

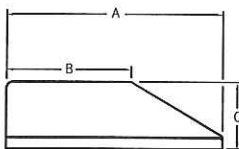
Approval is based on plan set dated 10/2/2012, accompanying materials + responses to staff comments, along with approved Administrative Waivers #1 + #2. Approval is subject to obtaining approval of waiver to 5.7.5(f) to allow use of hedges for streetscreen.



† Actual IES Type III

STANDARD IN BLACK
SHOWN WITH OPTIONAL ACCENT STRIPE

Minimum 150°C Supply Conductors
Required for Wall Mount,
NON COMBUSTIBLE SURFACE ONLY



"A"	"B"	"C"
16" Square (406 mm)	9.5" (241 mm)	5.1" (129 mm)
22" Square (559 mm)	13.4" (340 mm)	6.5" (165 mm)



Rating applies as
a downlight only



for Wet
Locations

WAC SERIES by RUUD LIGHTING DIRECT

WEDGE FORWARD THROW AREA LIGHT

Available in 16-inch or 22-inch square, the distinctive architectural styling of WPR Series fixtures offers an estimated 50% lower EPA values than typical shoebox housings. Fixtures feature a clear, tempered glass lens mounted securely in the recessed die-cast door frame. WAC Series fixtures use a forward throw area cutoff reflector with a main beam of 60+ degrees from vertical providing great lateral distribution and uniformity.

APPLICATIONS: Parking areas

LAMP INCLUDED

LAMP WATTAGE	HOUSING SIZE	CATALOG NUMBER
100W PSMH	16"	WAC*410-M
150W PSMH	16"	WAC*615-M
250W PSMH	22"	WAC*6925-M
320W PSMH Φ	22"	WAC*6932-M
400W PSMH Φ	22"	WAC*6940-M
100W HPS	16"	WAC*510-M
150W HPS	16"	WAC*515-M
250W HPS	22"	WAC*592-M
400W HPS	22"	WAC*594-M

Φ Reduced envelope lamp. ED28 for 320W & 400W PSMH.

MOUNTING CODES

Insert Code at * in Catalog Number



1 = 1-1/2" Close Pole Mount

2 = 6" Extended Pole Mount

8 = No Mounting Hardware
(factory-drilled with 2-foot cord)

W = Wall Mount

NOTE: When using multiple 22" sq. housings at a 90° configuration, a special 12" arm is required; see page 91.

SEE PAGE 88 FOR MORE INFORMATION
ABOUT THESE MOUNTINGS

MOUNTING ALTERNATIVES START ON PAGE 90

FACTORY-INSTALLED OPTIONS

DESCRIPTION	CHANGE SUFFIX TO	ADD AFTER SUFFIX
277V Reactor Ballast (150W-400W PSMH only)	27	
480V Ballast (100W PSMH only)	5	
(150W-400W PSMH, 250W-400W HPS only)	5	
(100W-150W HPS only)	5	
Canada Tri-volt Ballast (120/277/347V) (150W-400W PSMH, 250W-400W HPS only) (100W & 150W HPS and 100W PSMH only)	T	
Single Fuse (277V Reactor, 120V, 277V, or 347V)	27, 1, 2 or 6	F
Dual Fuse (208V, 240V, or 480V) (n/a Canada)	3, 4 or 5	F
Quartz Standby (n/a 277V reactor) (delay-relay type) (includes 100W Q lamp)		Q
Button Photocell (n/a on 480V) (277V Reactor, 120V, 277V, 208V, or 240V) (Canada 347V)	27, 1, 2, 3, or 4 6	P P
External Photocell (480V only)	5	P

Accent Stripe (note at end of catalog number prefix: G=Grey, R=Red (WAC1615R-M))

FIELD-INSTALLED ACCESSORIES

DESCRIPTION	CATALOG NUMBER
Wire Guard 16" Housing 22" Housing	FWG-16 FWG-22
Backlight Shield [▲] 16" Housing 22" Housing	SBL-16 SBL-22

[▲] standard on Wall Mount, mounting code "W"

SEE PAGE 87 FOR MORE INFORMATION ABOUT THESE ACCESSORIES

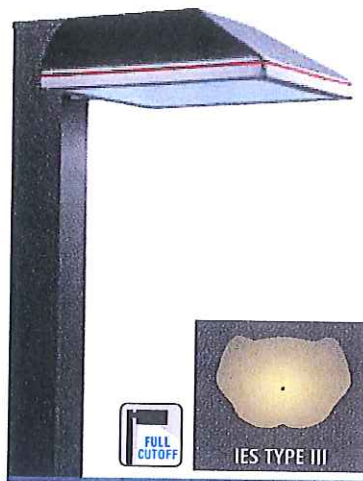
Spec sheets and photometric files are available at www.ruudlightingdirect.com

WPR SERIES by RUUD LIGHTING DIRECT

WEDGE WIDE THROW AREA LIGHT

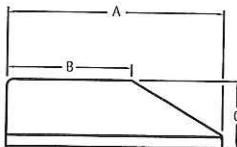
Available in 16-inch or 22-inch square, the distinctive architectural styling of WPR Series fixtures offers an estimated 50% lower EPA values than typical shoebox housings. Fixtures feature a clear, tempered glass lens mounted securely in the recessed die-cast door frame. WPR Series fixtures use a parking/roadway reflector with Type III asymmetric distribution.

APPLICATIONS: Roadway, parking areas or for building-mounted security lighting



STANDARD IN BLACK
SHOWN WITH OPTIONAL ACCENT STRIPE

Minimum 150°C Supply Conductors
Required for Wall Mount.
NON-COMBUSTIBLE SURFACE ONLY



"A"	"B"	"C"
16" Square (406 mm)	9.5" (241 mm)	5.1" (129 mm)
22" Square (559 mm)	13.4" (340 mm)	6.5" (165 mm)

LAMP INCLUDED

LAMP WATTAGE	HOUSING SIZE	CATALOG NUMBER
100W PSMH	16"	WPR*410-M
150W PSMH	16"	WPR*615-M
250W PSMH	22"	WPR*6925-M
320W PSMH	22"	WPR*6932-M
400W PSMH	22"	WPR*6940-M
100W HPS	16"	WPR*510-M
150W HPS	16"	WPR*515-M
250W HPS	22"	WPR*592-M
400W HPS	22"	WPR*594-M

⌀ Reduced envelope lamp. ED28 for 320W & 400W PSMH.

MOUNTING CODES

Insert Code at * in Catalog Number



1 = 1-1/2" Close Pole Mount

2 = 6" Extended Pole Mount

8 = No Mounting Hardware
(factory-drilled with 2-foot cord)

W = Wall Mount

NOTE: When using multiple 22" sq. housings at a 90° configuration, a special 12" arm is required; see page 91.

SEE PAGE 85 FOR MORE INFORMATION
ABOUT THESE MOUNTINGS

MOUNTING ALTERNATIVES START ON PAGE 90



Rating applies as
a downlight only



for Wet
Locations

FACTORY-INSTALLED OPTIONS

DESCRIPTION	CHANGE SUFFIX TO	ADD AFTER SUFFIX
277V Reactor Ballast (150W-400W PSMH only)	27	
480V Ballast (100W PSMH only)	5	
(150W-400W PSMH, 250W-400W HPS only)	5	
(100W-150W HPS only)	5	
Canada Tri-volt Ballast (120/277/347V) (150W-400W PSMH, 250W-400W HPS only)	T	
(100W & 150W HPS and 100W PSMH only)	T	
Single Fuse (277V Reactor, 120V, 277V, or 347V)	27, 1, 2 or 6	F
Dual Fuse (208V, 240V, or 480V) (n/a Canada)	3, 4 or 5	F
Quartz Standby (n/a 277V reactor) (delay-relay type) (includes 100W Q lamp)		Q
Button Photocell (n/a on 480V) (277V Reactor, 120V, 277V, 208V, or 240V) (Canada 347V)	27, 1, 2, 3, or 4 6	P P
External Photocell (480V only)	5	P
Accent Stripe (note at end of catalog number prefix: G=Grey, R=Red (WPR1615R-M))		

FIELD-INSTALLED ACCESSORIES

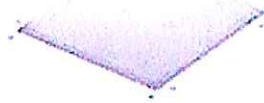
DESCRIPTION	CATALOG NUMBER
Wire Guard 16" Housing 22" Housing	FWG-16 FWG-22
Backlight Shield 16" Housing 22" Housing	SBL-16 SBL-22

SEE PAGE 88 FOR MORE INFORMATION ABOUT THESE ACCESSORIES

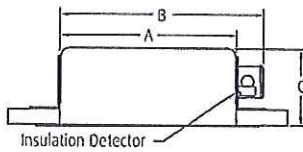
Spec sheets and photometric files are available at www.ruudlightingdirect.com

RC SERIES by RUUD LIGHTING **DIRECT**

RECESSED CANOPY LIGHT

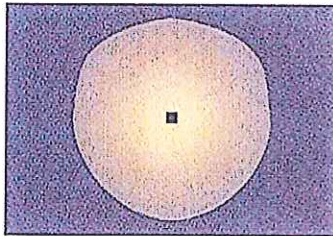


STANDARD IN WHITE FINISH



"A"	"B"	"C"
12" Square (305 mm)	13.88" (353 mm)	5.0" (127 mm)
16" Square (406 mm)	17.88" (454 mm)	6.5" (165 mm)

OPTICAL PATTERN



RC Series fixtures are 12- and 16-inches square and feature a seamless, aluminum die-cast housing. This highly efficient fixture features a precision specular reflector that provides cutoff distribution for maximum light levels. A crystal #73, flat tempered glass lens is standard.

APPLICATIONS: Canopy illumination, soffit lighting

LAMP INCLUDED

LAMP WATTAGE	HOUSING SIZE	CATALOG NUMBER
70W PSMH	12"	MRC0407-1
100W PSMH	12"	MRC0410-1
150W PSMH	12"	MRC0615-1
150W PSMH	16"	RC0615-1
70W HPS	12"	MRC0507-1
100W HPS	12"	MRC0510-1
150W HPS	12"	MRC0515-1
150W HPS	16"	RC0515-1
26/32/42W CFL*	12"	MRC0242-U


* Specify lamp wattage for included lamp. Consult factory for discrete wattage labeling to meet state and/or local regulations where applicable.



FACTORY-INSTALLED OPTIONS

DESCRIPTION	CHANGE SUFFIX TO	ADD AFTER SUFFIX
277V Ballast (standard on CFL) (PSMH & 150W HPS in 16" housing) (70W-150W HPS in 12" housing)	2 2	
208V Ballast (standard on CFL) (PSMH & 150W HPS in 16" housing) (70W-150W HPS in 12" housing)	3 3	
240V Ballast (standard on CFL) (PSMH & 150W HPS in 16" housing) (70W-150W HPS in 12" housing)	4 4	
Canada 347V Ballast (n/a CFL) (150W PSMH & 150W HPS in 16" housing) (70W & 100W PSMH) (70W-150W HPS in 12" housing)	6 6 6	
Single Fuse (120V, 277V, or 347V)	1, 2 or 6	F
Dual Fuse (208V or 240V) (n/a Canada)	3 or 4	F
Quartz Standby (delay-relay type) (includes 100W Q lamp)		Q
Glass Drop Prismatic Lens (12" housing only) (Lens is 1-3/4" [44 mm] deep)		A

FIELD-INSTALLED ACCESSORIES

DESCRIPTION	CATALOG NUMBER
 2 x 2 Lay-in Panel 12" Housing 16" Housing	LPF-12 LPF-16

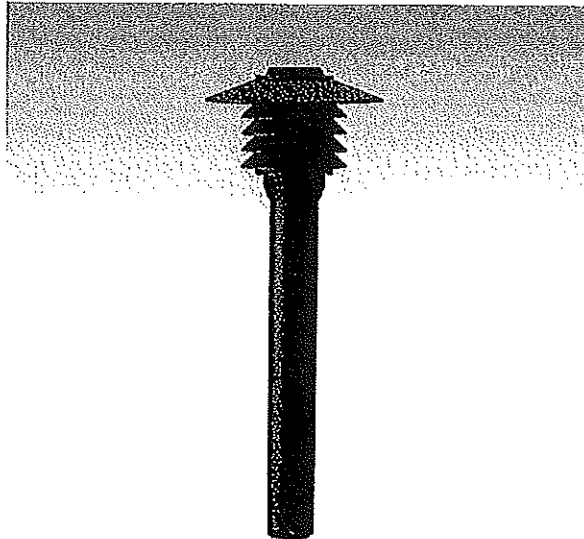
SEE PAGE 108 FOR MORE INFORMATION ABOUT THIS ACCESSORY

Spec sheets and photometric files are available at www.ruudlightingdirect.com

LUMINAIRE SPECIFICATION



PROJECT : _____ DATE : _____
 LOCATION : _____
 QUANTITY : _____ NOTE : _____



10052 Romeo bollard

IP55 ▲▲/EN 60598/CLASS I Ⓢ/V/CE/IK08

Product Type

Bollard / Garden light / pillar light.

Product Information

A distinctly style bollard symmetrical light distribution. Main application designed for lighting of entrances, footpaths, squares and garden.

Material Characteristics

Extruded aluminium column. Die-cast aluminium housing with high corrosion resistance. Stainless steel screws. Durable silicone rubber gasket. Opal glass diffuser. Powder paint with high corrosion resistance with chemical chromalised protection.

Physical Data

Extruded aluminium height : 533 mm.
 Weight: 9.5 Kg.

Colour

- | | |
|---|---|
| <input type="checkbox"/> Black - RAL 9011 | <input type="checkbox"/> Dark Grey - RAL 7043 |
| <input type="checkbox"/> White - RAL 9003 | <input type="checkbox"/> Metallic Silver - RAL 9006 |
| <input type="checkbox"/> Matt Silver - RAL 9006 | <input type="checkbox"/> Custom - RAL _____ |

Reflector

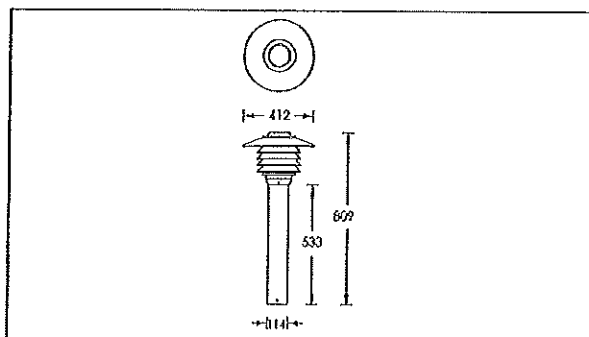
None.

Lamp

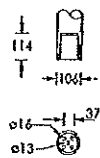
TC-D 20w. ≡ G24d-3 1800 lm.

Note

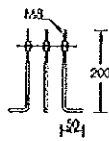
- Integral control gear.



Mounting Detail



Anchor bolt kit for installation A10191



Branch/Business contact address / Showroom
 2912 Ladprao Rd., Klongjui, Bangkok,
 Bangkok 10240 Thailand
 Email: info@ligmanlighting.com

Tel : +66 (0) 27339140 (9 lines)
 Fax: +66 (0) 27339153 (Administration)
 +66 (0) 27339154 (Overseas Sales)
 +66 (0) 27339150 (Domestic Sales)

Head office / Chachoengsao factory office
 17/2 Moo 4, Monthong, Bangna-Prachin,
 Chachoengsao 24150 Thailand

Tel: +66 (0) 38 581676-81
 Fax: +66 (0) 38 581415
 Email: factory@ligmanlighting.com
 Website: www.ligmanlighting.com

Product specification data sheet and all information is property of Ligman Lighting Co., Ltd. All right reserved.
 We reserved the right to change specification without prior notice.

LUMINAIRE SPECIFICATION



ACCESSORIES

10052
Romeo bollard



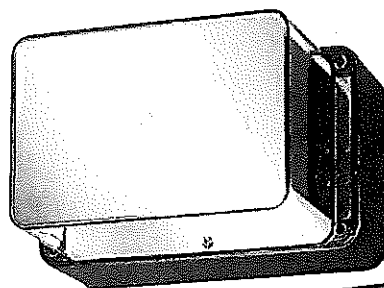
Branch / Business contact address / Showroom
2912 Ladprao Rd, Nongjin, Bangkok,
Bangkok 10240 Thailand
Email: info@ligmanlighting.com

Tel: +66 (0) 2 7339140 (9 lines)
Fax: +66 (0) 2 7339153 (Administration)
+66 (0) 2 7339154 (Overseas Sales)
+66 (0) 2 7339150 (Domestic Sales)

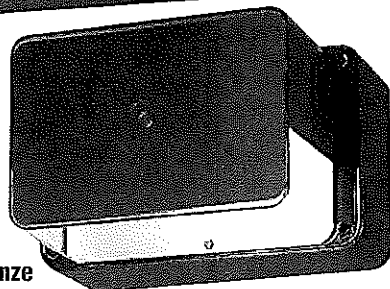
Head office / Chachoengsao factory office
17/2 Moo 4, Monthonong, Bangnaemprae,
Chachoengsao 24150 Thailand

Tel: +66 (0) 38 581676-81
Fax: +66 (0) 38 581415
Email: factory@ligmanlighting.com
Website: www.ligmanlighting.com

Product specification data sheet and all information is property of Ligman Lighting Co., Ltd. All right reserved.
We reserved the right to change specification without prior notice.



Lamp Included!
E5 Series
(shown with Gold Shroud option)



E8 Series
(shown with Bronze Shroud option)

Up/Down Cutoff & Deep Shielded

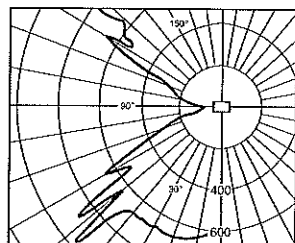
E5 Series Up/Down Cutoff

The optics provide controlled uplight and downlight with side cutoff. The E5 Series optics are also available for vertical mounting; add suffix "R" to catalog number.

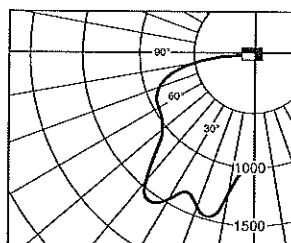
NOTE: 50-watt MH with suffix "G" is supplied with a glass insert to allow operation in the wall-mounted position.

E8 Series Deep Shielded

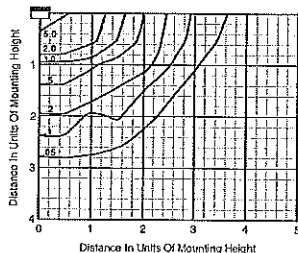
Front brightness shielding without sacrificing wide light distribution. The E8 works ideally over entrances.



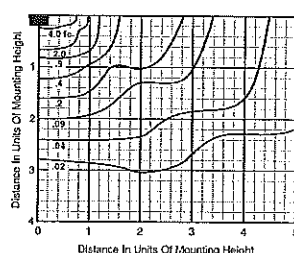
Candlepower Distribution Curve of 50W HPS E5 Up/Down Cutoff Light.



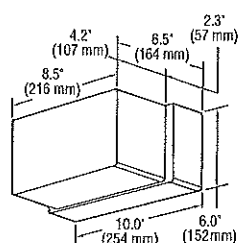
Candlepower Distribution Curve of 70W HPS E8 Deep Shielded Light.



Isofootcandle plot of one 50W HPS E5 Up/Down Cutoff Light at 10' (3.0 m) mounting height (plan view).



Isofootcandle plot of one 70W HPS E8 Deep Shielded Light at 15' (4.6 m) mounting height (plan view).



For 50, 70 and 100W HPS with quad-volt or tri-volt, and all MH fixtures, the housing depth is 3" (76 mm), and the overall fixture depth is 7.2" (183 mm).

Order Information

Description	Wattage/ Lamp Type	Catalog Number	Mounting Position
Up/Down Cutoff	50W MH	E5405-MG	Wall
	35W HPS	E5503-1	Any
	50W HPS	E5505-1	Any
Deep Shielded	50W MH	E8405-M	Wall Downlight only
	70W MH	E8407-M	Wall Downlight only
	35W HPS	E8503-1	Any
	50W HPS	E8505-1	Any
	70W HPS	E8507-1	Wall Downlight only
	100W HPS	E8510-1	Wall Downlight only

NOTE: Suffix "G" indicates glass insert is supplied.

Options: (Factory-installed)	Change Suffix To	Add After Suffix
277V ballast (35-50W HPS only)	2	
347V ballast (50W HPS only)	6	
Quad-volt ballast (70-100W HPS only)	M	
Tri-volt ballast (50 & 70W MH only)	T	
Tri-volt ballast (70 & 100W HPS only)	T	
Photocell (120V, 277V, 208V, 240V or 347V)	1, 2, 3, 4 or 6	P
Bronze Color Shroud		BS
Gold Color Shroud (not available on 100W HPS)		GS
High Power Factor ballast		H
Tamperproof Lens Fasteners		J
Vertical Mounting (E5 Series only)		R
NOTE: Not available when both hpf and photocell supplied		
Polycarbonate Lens		V

Accessories: (Field-installed)

Description	Catalog Number
Surface Mounting Box	ESB-7
Pole Mounting Bracket	PAS-7
Tamperproof Screwdriver	TPS-1

Catalog Number Logic/Voltage Suffix Key Page 9

Bollard Panel Page 31

Accessories Page 39

E5 Series Mounting Multipliers

Height	Multiplier
7' (2.1 m)	2.04
8' (2.4 m)	1.56
9' (2.7 m)	1.23
10' (3.0 m)	1.00
12' (3.7 m)	0.69
15' (4.6 m)	0.44
20' (6.1 m)	0.25

E8 Series Mounting Multipliers

Height	Multiplier
8' (2.4 m)	3.52
10' (3.0 m)	2.25
12' (3.7 m)	1.56
15' (4.6 m)	1.00
20' (6.1 m)	0.56
25' (7.6 m)	0.36

The E5 Series photometric data was developed in testing Ruud fixtures with clear, 50W HPS 4,000 lumen medium base lamps. Footcandle readings for other wattages and lamp types may be obtained by multiplying the chart values by the following:

Lamp/Wattages	Multiplier
50W MH	0.85
35W HPS	0.56

The E8 Series photometric data in this section was developed in testing Ruud fixtures with clear, 70W HPS 6,400 lumen medium base lamps. Footcandle readings for other wattages and lamp types may be obtained by multiplying the chart values by the following:

Lamp/Wattages	Multiplier
50W MH	0.53
70W MH	0.86
35W HPS	0.35
50W HPS	0.63
100W HPS	1.48

Fast Shipping... DIRECT!

(800) 236-7000, 7 a.m. to 6 p.m. CT

Fax: (800) 236-7500 • www.ruudlighting.com

Project Overview

Project Data

Client: Knothe & Bruce Architects
Project: Nine Springs
Location: East Cheryl Parkway and Syene Road, Madison, WI
Date: September 6, 2012
Contact: Andrea Ring

Project Overview

The project at the corner of East Cheryl Parkway and Syene Road includes the demolition of 2 existing houses. The properties have concrete driveways onto Syene Road.

This plan is intended as a practical guide to the owner and contractors for the deconstruction of the buildings. The intent is to recycle and reuse materials in a pragmatic and realistic manner within the limitations of the reuse market within the community. It is acknowledged that actual conditions at time of deconstruction may be different than anticipated in this plan as concealed conditions or unanticipated obstacles to reuse/recycling are encountered. Both the owner and the contractor will have to adapt to these conditions and adjust or amend the plan.

Deconstruction Overview

Building materials reuse is one of the most sustainable activities associated with the built environment. In the context of physical construction, **deconstruction** is the selective dismantlement and harvesting of building components, specifically for re-use, recycling, and waste management.

Deconstruction focuses on giving the materials within a building a new life once the building as a whole can no longer continue. This increases opportunities for the recovery and reuse of building materials in an environmentally sound and financially sustainable way. This also reduces the need for new virgin materials.

Deconstruction is commonly separated into two categories; structural and non-structural. Non-structural deconstruction, also known as "soft-stripping", consists of reclaiming non-structural components, appliances, doors, windows, and finish materials. The reuse of these types of materials is commonplace and considered to be a mature market in many locales.

This report is prepared in compliance with the requirements of Demolition Recycling and Reuse as prescribed by the City of Madison and should serve as a guide for the deconstruction contractors.

The Plan

Deconstruction

Deconstruction is the practice of selectively disassembling a building in such a way that the materials can be reused for new construction, recycled or to effectively manage waste.

Reuse

To reuse is to use an item more than once. This includes conventional reuse where the item is used again for the same function, and new-life reuse where it is used for a different function.

Recycling

Recycling is the breaking down of the used item into raw materials which are used to make new items.

Hazardous Materials

Hazardous materials are being removed from the property in advance of deconstruction activities by separate contract and are not included within this scope of work.

Survey & Documentation

The goal of the Deconstruction Plan is to provide information to the contractors and salvage entities related to the materials and components available for reuse and recycling and to define some parameters for deconstruction waste management.

Existing Buildings

The Deconstruction Plan involves the complete demolition of the existing houses to allow for the construction of the new apartment building.

Madison Stuff Exchange

The Madison Stuff Exchange may be a sensible option for some items related to reuse. The Exchange lets you sell, give away or trade things you don't want with people who do, like an online garage sale. You can post listings of items and materials you wish to get rid of.

Reuse

Reuse

Selective removal, disassembly and packaging of components and materials are essential parts of the reuse efforts. Multiple contractors and salvage entities may be involved with this effort. The owner will also be removing items for reuse and salvage in advance of contractor activity. Below is a partial list of items for reuse.

Owner List

- Wood panel doors and hardware
- Kitchen cabinets (upper and lower)
- Stainless steel sink
- Counter tops
- Ceiling and wall mounted light fixtures
- Coat racks
- Dimensional lumber
- Exit signs/egress lights
- Toilets
- Mirrors
- Toilet room towel bars and grab bars
- Toilet room vanity base cabinets
- Misc. wood shelving
- Aluminum HVAC grilles
- Wood fascia
- Storm windows and screens
- Wood windows
- Exterior brick
- Exterior wood siding
- Metal access doors
- hollow metal doors
- Fire detection and alarm system components
- Gutter and downspouts
- Wood fascia
- Flashing
- Misc. grilles and louvers
- Wood handrails

Restore List

Because the Owner's core business involves the management and maintenance of several different types of rental properties, all salvaged materials will be retained by the owner. If materials are later identified as not needed, the Habitat Restore will be contacted prior to disposal.

Recycling

Appliance Recycling

The Owner intends to keep possession of all working appliances in the existing buildings. If any appliance is identified as no longer in good working order, the unit will be disposed of in the appropriate manner. Appliances that are expected to be collected and stored include:

- Kitchen appliances
- Laundry appliances
- Water Heaters
- Water Softeners
- Air Conditioning Units
- Furnaces
- All other HVAC equipment

Primary building equipment such as water heaters, boilers, furnaces, condensing units and related components should be recycled. Moor's Salvage is a local recycler.

Refrigerants must be disposed of per state regulations. All CFC refrigerant containing equipment is to be disconnected and contained by a licensed contractor.

Mercury Recovery / Recycling

Thermostats containing mercury should be recycled. Madison Gas and Electric is an area recycler.

In general, all fluorescent lamps containing mercury must be recycled. Ballasts containing PCBs must be recycled. Midwest Lamp Recycling and PKK Lighting are area recyclers.

Mixed Loads of Construction and Demolition Debris

Local waste disposal companies such as waste management will collect comingled debris and separate the recyclable materials.

Drywall: At this time only clean new drywall is recyclable. Existing drywall is not recyclable.

Carpet and padding should be recycled. Sergenian's is a local recycler.

Household materials, chemical and paints should be disposed of or recycled properly. Dane County Clean Sweep is an area recycler.

Asphalt, Brick and Concrete

Clean concrete block and concrete walks, floor and walls should be recycled. All interior coated surfaces should be tested for hazardous materials. Wingra Stone is a local recycler.

Metal Recycling

Miscellaneous metals including; ductwork gutters/downspouts, railings, supports, brackets, etc. should be recycled. Alter Metals and All Metals are local recyclers.

The demolition contractor may consider separate collection bins for copper piping and metal conduit.

Shingle Recycling

The asphalt shingles may contain asbestos material and will require examination, potential removal and disposal by a licensed abatement contractor.

Clean Wood

Miscellaneous wood and wood components that are unfinished may be recycled. The Bruce Company is a local recycler.

September 6, 2012



Mr. Tom Hovel
City Planner
Department of Planning & Development
City of Fitchburg
5520 Lacy Road
Fitchburg WI 53711

Re: Administrative Approval Request
Avante Nine Springs – Lot 12 & 13

Dear Mr. Hovel:

The following is submitted together with the plans, application and text for staff consideration of approval.

Owner: Avante Properties
120 E. Lakeside St
Madison, WI
608-848-0111
608-848-6013 fax
Contact: Karyl Lynn Bruckner
karyllynn@avanteproperties.com

Architect: Knothe & Bruce Architects, LLC
7601 University Avenue, Ste 201
Middleton, WI 53562
608-836-3690
608-836-6934 fax
Contact: Randy Bruce
rbruce@knothebruce.com

Engineer: Vierbicher Associates, Inc
999 Fourier Drive, Suite 201
Madison, Wisconsin 53717
(608) 826-0532
Contact: Dave Glusick
dglu@vierbicher.com

Landscape Design: The Bruce Company
2830 Parmenter Street
P.O. Box 620330
Middleton, WI 53562
(608) 836-7041
Contact: Rich Strohmenger
RStrohmenger@BRUCECOMPANY.com


Introduction:

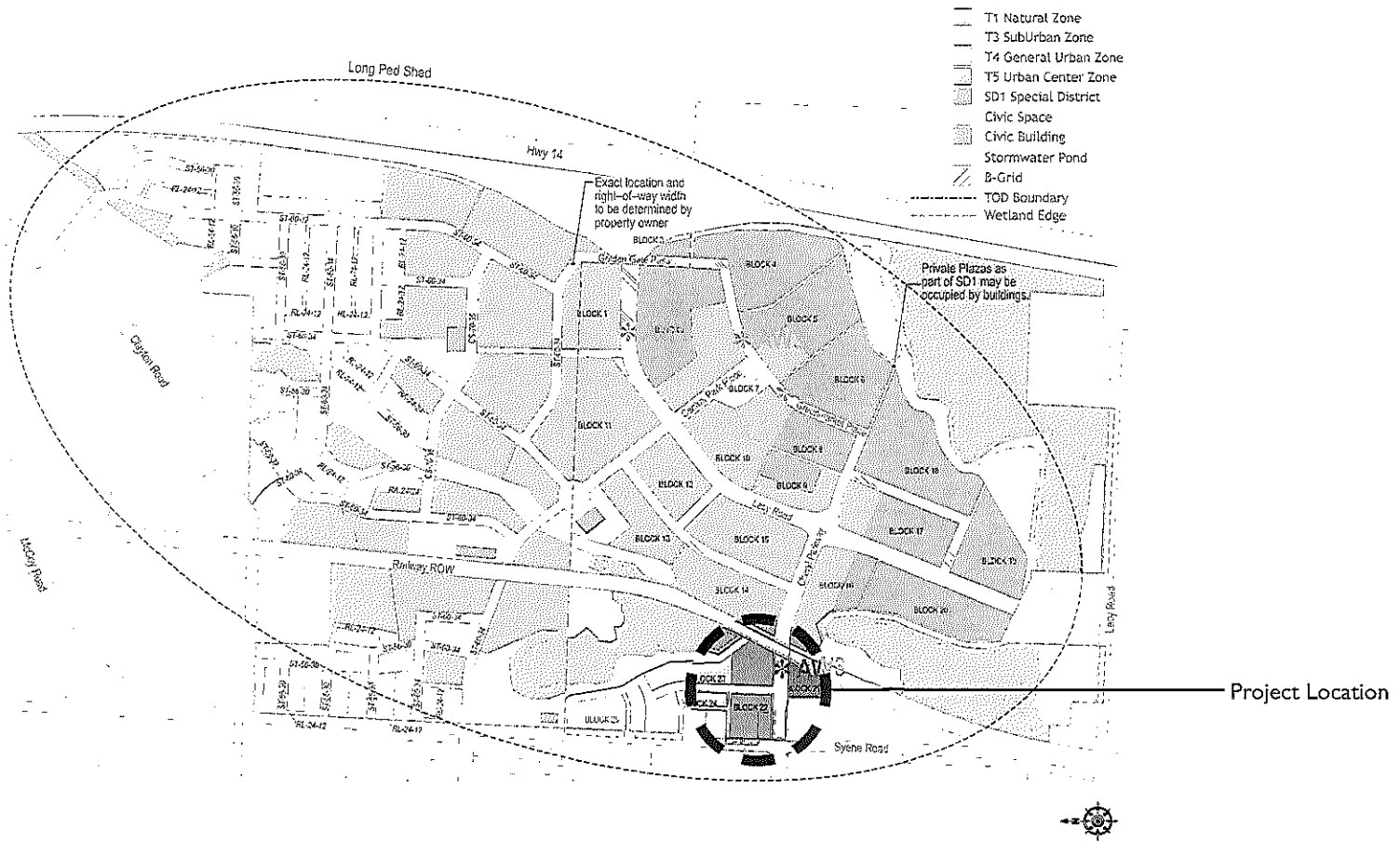
This proposed development is located on the corner of East Cheryl Parkway and S. Syene Road on Lots 12 & 13. The site is part of the approved Article 3 Nine Springs Neighborhood Plan. This application is for Article 5 Smartcode administrative approval for the development of (2) apartment buildings on (2) lots totaling 84 units.

Nine Springs Building/Site Plan Submittal - Lots 12 & 13

Fitchburg, Wisconsin

Compliance with Building Function & Density requirements as set forth in Section 3.3.3. and the Nine Springs Article 3 Neighborhood Plan

 T5 Urban Center Zone - TOD



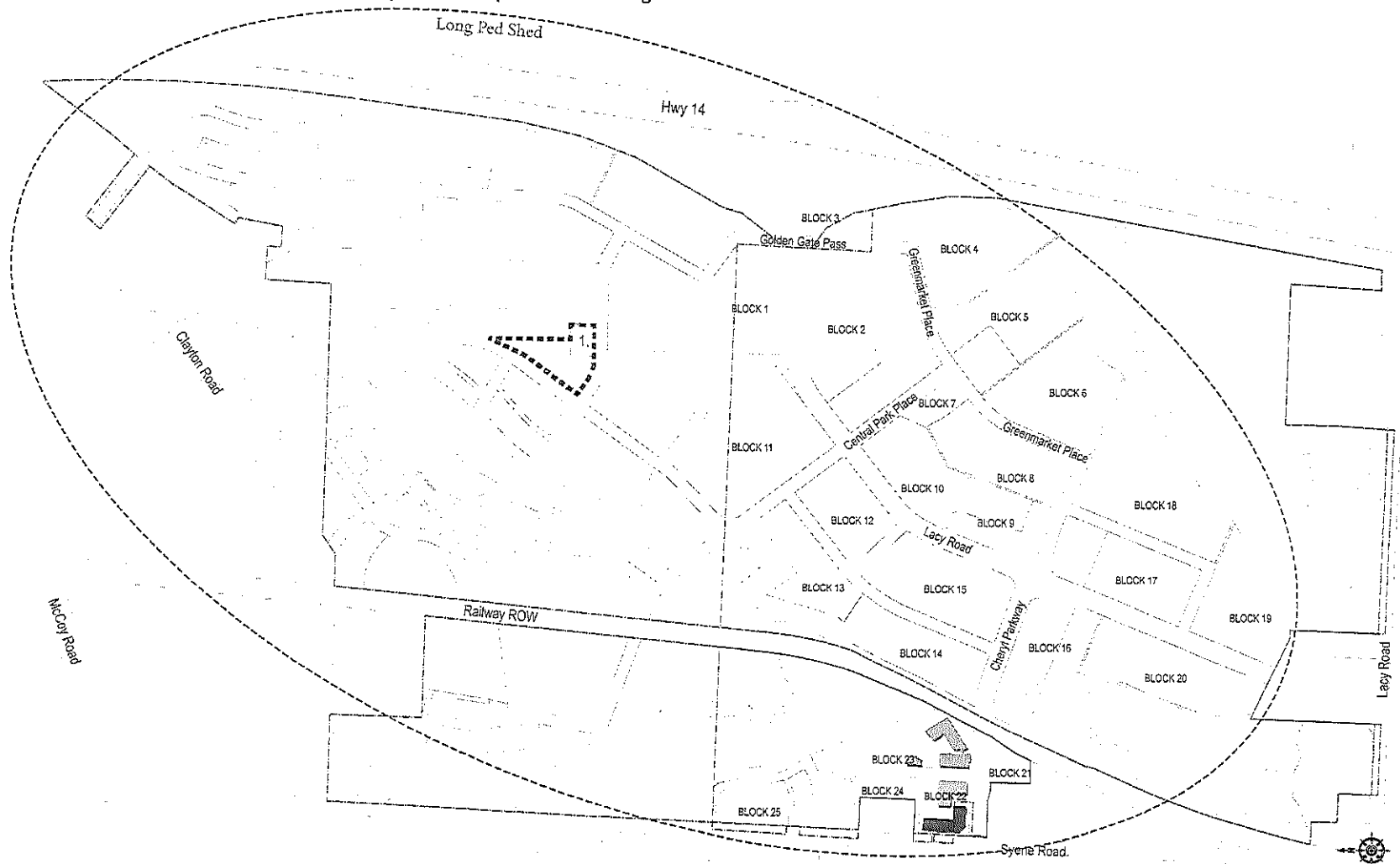
Nine Springs Building/Site Plan Submittal - Lots 12 & 13

Fitchburg, Wisconsin

BUILDING LOCATIONS

Permitted Use shall conform to Table 11 & 21

- (T5) Building 1 Lot 13 - Residential Multi-Family- 48 Unit Apartment Building
- (T5) Building 2 Lot 12 - Residential Multi-Family- 36 Unit Apartment Building



Nine Springs Building/Site Plan Submittal - Lots 12 & 13

Fitchburg, Wisconsin

Building I- Lot 13

Compliance with Building Disposition requirements as set forth in Section 5.6

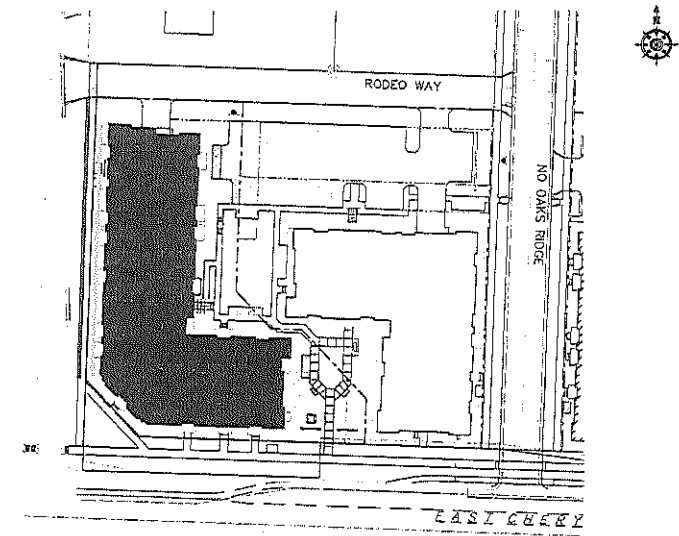
1. Setback

	Front	Side	Rear
required	12'max	12'max	3'min
actual	10'	19'	8'
2. Lot Coverage-Area

max allowable	90%
actual	63%
lot area =	31,346sf
coverage =	19,803 sf
3. Lot Width

allowable range -	18 ft min 300 ft max
actual	203.3 ft
4. Minimum 80% width of facade along principal frontage -

frontage lot width =	203.3'
frontage building width =	180.5'
89 % facade width	
5. Outbuilding Setbacks - N/A
6. Facade is aligned parallel to the principal Frontage Line



Building 2 - Lot 12

Compliance with Building Disposition requirements as set forth in Section 5.6

1. Setback

	Front	Side	Rear
required	12'max	12'max	3'min
actual	11'	8.5'	91.5'

2. Lot Coverage

max allowable	90%
actual	70%
lot area =	36,373 sf
coverage =	25,457 sf

3. Lot Width

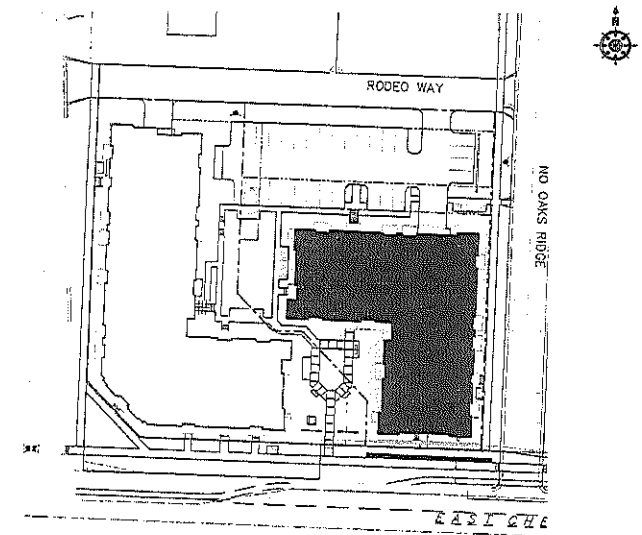
allowable range -	18 ft min 300 ft max
actual	82.5 ft

4. Minimum 80% width of facade along principal frontage -

frontage lot width =	82.5'
frontage building width =	66.5'
80.6 % facade width	

5. Outbuilding Setbacks - N/A

6. Facade is aligned parallel to the principal Frontage Line



Building I - Lot 13

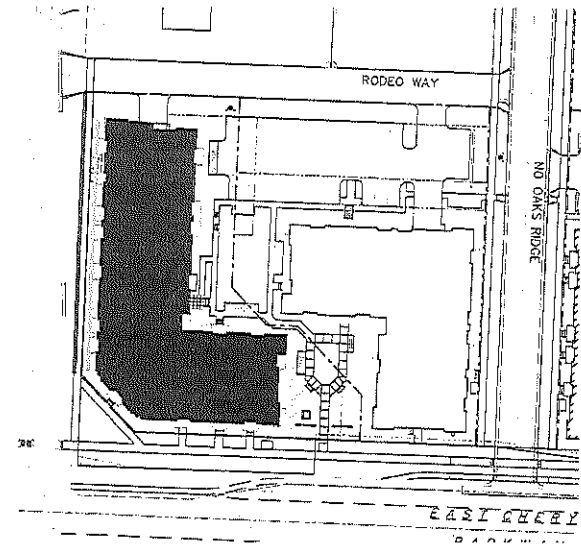
Compliance with Building Configuration requirements as set forth in Section 5.7

1. Private Frontage types shall conform to requirements set forth in Table 14 and Table 2] = Stoop
2. Building heights shall conform to requirements set forth in Table 15 and Table 2k = 6 stories max and 2 stories min
3. Floor heights
allowable = 14' max per floor
actual = 9' per floor (habitual space)
4. All facades shall be glazed with at least 10% clear glass of the first story
Provided = $592/1966=30.1\%$ glazing at first floor
Per Section 5.13.4e glazing above the first story facade is limited to 50 % of the total Facade Wall area

(Glazing Above First Story/Total Facade Area)

North Elevation - $516.5/4,543 = 11.3\%$
South Elevation - $797.5/4,543 = 17.5\%$
East Elevation - $1,395/7,425 = 18.8\%$
West Elevation - $1,249.5/ 7,425 = 16.8\%$

5. Encroachment
 - balconies encroach the second layer 18" from the principal frontage line
 - stoops encroach the first layer 5' from the principal frontage line



Building 2 - Lot 12

Compliance with Building Configuration requirements as set forth in Section 5.7

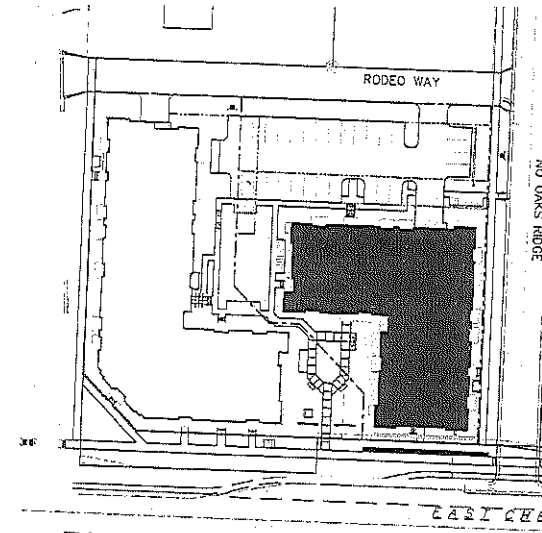
1. Private Frontage types shall conform to requirements set forth in Table 14 and Table 2j = Stoop
2. Building heights shall conform to requirements set forth in Table 15 and Table 2k = 6 stories max and 2 stories min
3. Floor heights
 - allowable = 14' max per floor
 - actual = 9' per floor (habitual space)
4. All facades shall be glazed with at least 10% clear glass of the first story
212/735
Provided= $212/735 = 28.8\%$ glazing at first floor

Per Section 5.13.4e glazing above the first story facade is limited to 50 % of the total Facade Wall area

(Glazing Above First Story/Total Facade Area)

North Elevation - $816/4,582 = 17.8\%$
 South Elevation - $728.5/4,582 = 15.8\%$
 East Elevation - $926/5,168 = 17.9\%$
 West Elevation - $943/ 5,168 = 18\%$

5. Encroachment-
 - balconies encroach the second layer 18" from the principal frontage line
 - stoops encroach the first layer 5' from the principal frontage line



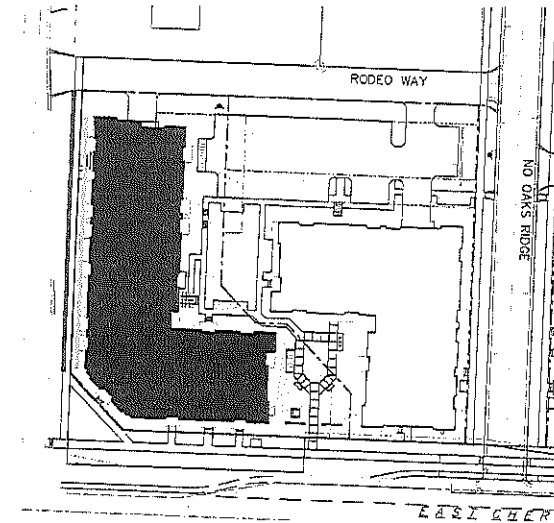
Building I- Lot 13

Compliance with Parking standards as set forth in Section 5.9 and 5.10

1. Required number of parking spaces

Table 19	1.0 / dwelling unit=48 dwelling units
Provided	48 parking underground stalls
	<u>1 surface parking stalls</u>
	49 Total Stalls
2. Inclusion of on-street parking along frontage line toward satisfaction of required parking
3. Parking areas shall be located at the Third Lot Layer and masked by a Streetscreen or Liner Building as shown in Table 25
4. Compliance with bicycle parking

Required Table 19A	
Required-public	2 + 66 Bdrms * .5 = 35 bike pkg stalls
Required-private	2 + 66 Bdrms * .5 = 35 bike pkg stalls underground
Provided-public	25 bike pkg stalls underground
Provided-private	42 bike pkg stalls underground



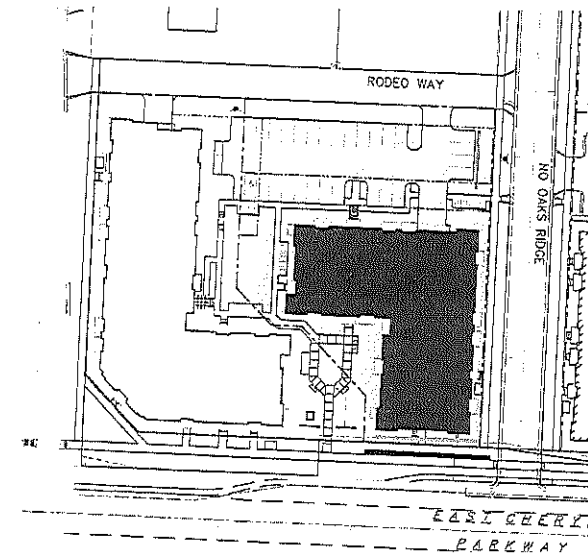
Building 2 - Lot 12

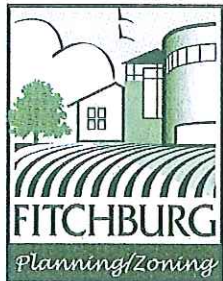
Compliance with Parking standards as set forth in Section 5.9 and 5.10

1. Required number of parking spaces

Table 19	1.0 / dwelling unit=36 dwelling units
Provided	35 parking underground stalls
	4 parking street stalls
	<u>28 surface parking stalls on site</u>
	67 Total Stalls
2. Parking areas shall be located at the Third Lot Layer and masked by a Streetscreen or Liner Building as shown in Table 25
3. Inclusion of on-street parking along frontage line toward satisfaction of required parking
4. Parking shall be accessed from a Rear Alley
5. Required entrance location for pedestrians from parking lot or parking structure
6. Vehicular entrance of a parking lot or garage on a frontage shall be no wider than 30 feet.
7. Compliance with bicycle parking

Required Table 19A	
Required-public	$2 + 51 \text{ Bdrms} * .5 = 28 \text{ bike pkg stalls}$
Required-private	$2 + 51 \text{ Bdrms} * .5 = 28 \text{ bike pkg stalls underground}$
Provided-public	33 bike pkg stalls
Provided-private	26 bike pkg stalls underground





CITY OF FITCHBURG
PLANNING DEPARTMENT
5520 LACY ROAD
FITCHBURG, WI 53711
(608) 270-4200
FAX: (608) 270-4275
EMAIL: planning@city.fitchburg.wi.us

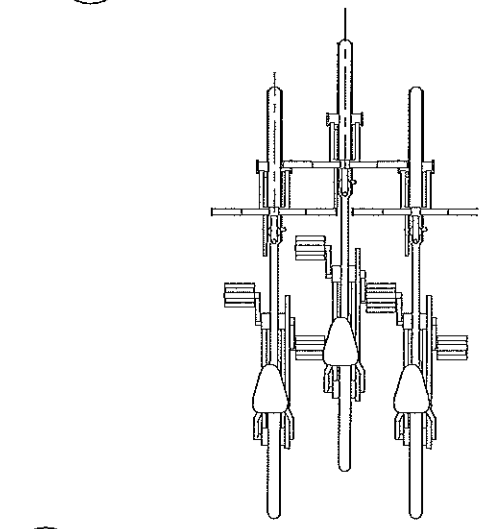
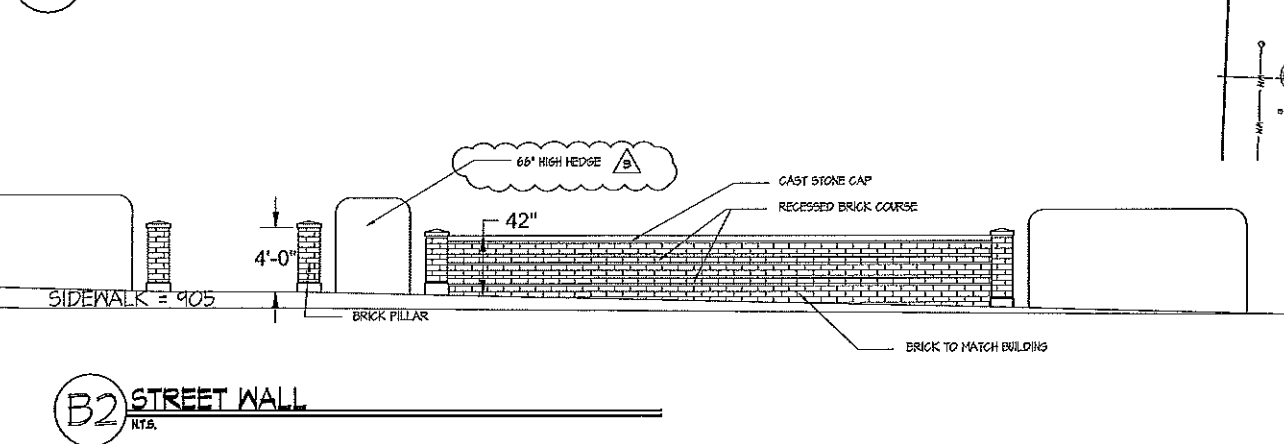
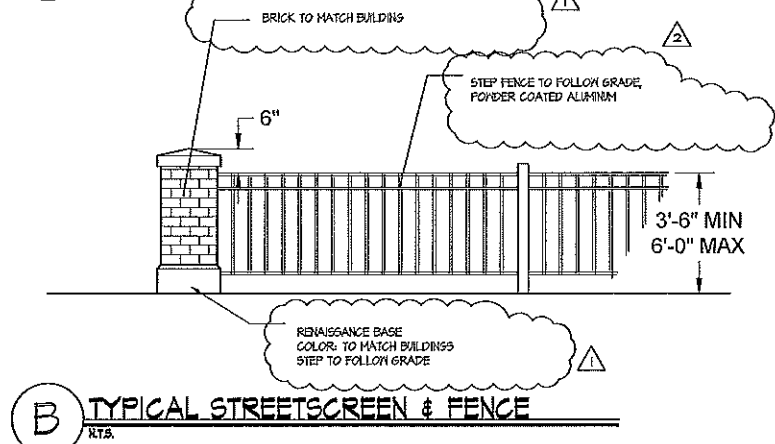
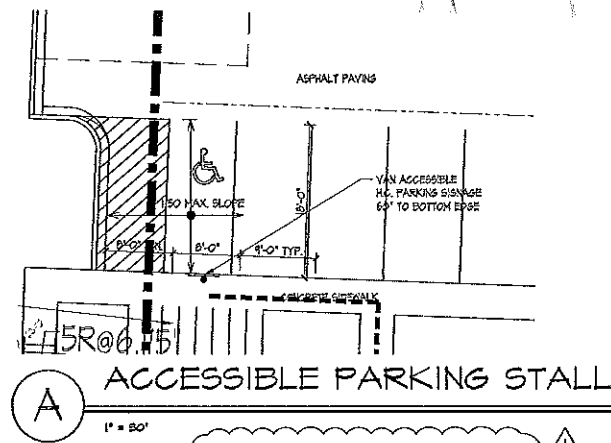
Application: SmartCode Article 5
Property Address: 2800 S Syene Road (Lot 13), 5150 E Cheryl Pkwy (Lot 12)
Review Date: October 1, 2012
Planning Staff Review #3

Planning staff has reviewed the revised SmartCode Article 5 application submitted for Lots 12 & 13 of the First Addition to Nine Springs Plat submitted on 9/28/2012. The following comments are based on this review. These items will need to be satisfied before the Article 5 Plan for these lots can be issued. Further comments or questions may arise as additional review occurs.

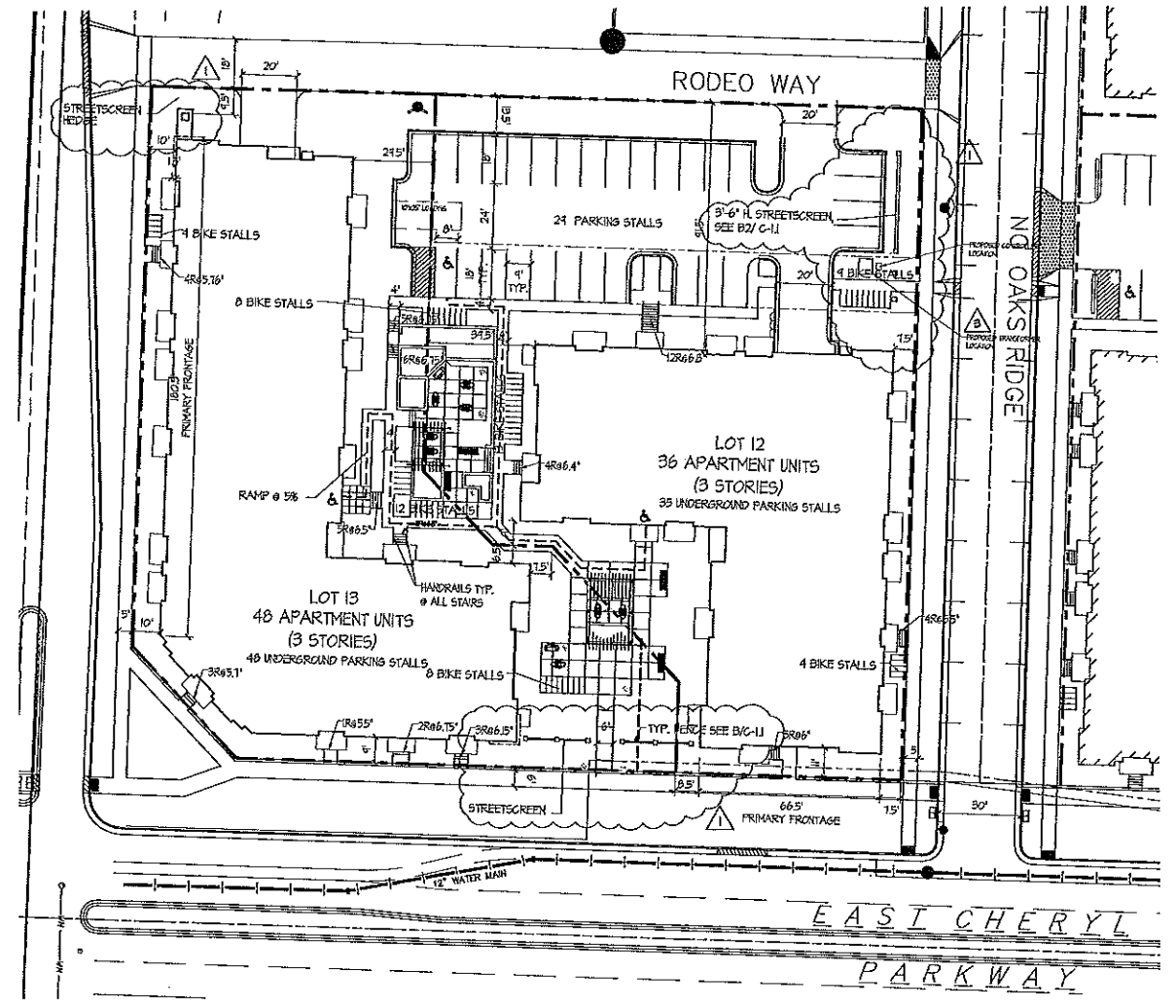
1. Sheet C-1.1 shows an 18' pavement width for Rodeo Way. An Administrative Waiver will be required to reduce the pavement width below the required 24'. Please submit a Waiver request or revise the plans to meet the required 24' width. **See attached Administrative Waiver.**
2. A waiver is required to use hedges as streetscreens in non-parking areas and also reduce the height of the required parapet. Administrative Waiver applications were previously submitted; staff will proceed with review of these Waivers.
3. A condition will likely be placed on approval of the Administrative Waiver to use hedges for screening in non-parking areas, that the hedge will need to be maintained to be between 3.5 – 8 feet in height to fully conceal the mechanical equipment.
4. Some of the lighting cut sheets provided in submittal do not fully match the lighting schedule catalogue numbers on sheet C-1.3. Also, has lighting fixture E been determined yet? The plan sheets note that E is TBD. **See sheet C-1.3 for updated schedule. Updated cut sheets are attached.**
5. Please provide an updated building section plan sheet (Sheet A3.1), that was included in previous submittals but not included with this revised plan set. This will allow us to review the parapet height relative to the rooftop mechanical units. **See sheet A-3.1 for building section.**
6. All plan sheets should be updated to be consistent with the revised site plan sheet C-1.1, specifically the change to the bike parking stalls on the northeast side of Lot 12. All sheets should show the 9 bike stalls, as shown on C-1.1. Please revise plan sheets accordingly. **Civil and landscape plans have been updated to match C-1.1.**
7. Please also adjust sheet L1 (landscape plan) to show the hedge continuing through the reduced bike parking area to abut the sidewalk opening to be consistent with sheet C-1.1. **Sheet L1 has been updated.**
8. Does sheet C-1.1 show the final controller and transformer locations? **Final controller and transformer locations are shown on C-1.1.**
9. Have you met with the Fire Department? This approval does not guarantee the fire or building inspection approvals. **The owner and architect have met with the Fire Department.**
10. As you are aware, the City recently amended the SmartCode bicycle parking requirements. A total of 53 spaces (18 short-term and 35 long-term) are required on Lot 13; the submitted site

plan provides 67 bike spaces. A total of 42 spaces (14 short-term and 28 long-term) are required on Lot 12; the submitted site plan provides 59 bike spaces. **Per the owner's request, bike parking will not be reduced.**

1. A SIDE WALK WITH A PITCH GREATER THAN 1:20 IS A RAMP. THE MAXIMUM PITCH OF ANY RAMP OR WALK SHALL BE 1:12. RAMP'S OVERCROSSING MORE THAN 6' CHANGE IN ELEVATION TO HAVE HANDRAILS ON BOTH SIDES.
2. ALL TRASH AND RECYCLING TO BE COLLECTED IN TRASH ROOMS IN THE BUILDING BASEMENTS.
3. SEE SITE GRADING AND UTILITY PLANS FOR ADDITIONAL INFORMATION.
4. COMM 62.0500(1)-REQUIRED FIRE LANES SHALL BE PROVIDED PRIOR TO THE PLACEMENT OF COMBUSTIBLE MATERIALS AT THE BUILDING SITE, OR THE CONSTRUCTION OF ANY PORTION OF A BUILDING ABOVE THE FOOTING AND FOUNDATION.
5. SITE STAIRS: RISERS AND TREADS WITHIN A STAIR SHALL HAVE UNIFORM SIZE AND SHAPE.
10A. PUBLIC STAIRS, 1" MAX. RISERS, 11" MIN. TREADS
10B. PRIVATE STAIRS, 1 1/8" MAX. RISERS, 10" MIN. TREADS
6. EXTERIOR SIGNAGE TO BE APPROVED AT A LATER DATE



C WALL MOUNTED BIKE RACK AT BASEMENT
N.T.S.



SITE PLAN
1" = 20'

SITE DEVELOPMENT STATISTICS - LOT 12 TS	
LOT AREA	38,281 S.F. / 0.88 ACRES
LOT COVERAGE	75,431 SF = 70%
DWELLING UNITS	36 UNITS
LOT AREA D.U.	1,063 SF/D.U.
DENSITY	43 UNITS/ACRE
APARTMENTS	
EFFICIENCY	1
ONE BEDROOM	20
TWO BEDROOM	15
TOTAL	36
PARKING	
SURFACE	28
STREET	4
UNDERGROUND	35
TOTAL	67
BIKE PARKING	
UNDERGROUND	28
SURFACE	33
TOTAL	61

SITE DEVELOPMENT STATISTICS - LOT 13 TS	
LOT AREA	31,594 S.F. / 0.73 ACRES
LOT COVERAGE	19,803 SF = 63%
DWELLING UNITS	48 UNITS
LOT AREA D.U.	658 SF/D.U.
DENSITY	65 UNITS/ACRE
APARTMENTS	
EFFICIENCY	1
ONE BEDROOM	29
TWO BEDROOM	18
TOTAL	48
PARKING	
SURFACE	1
UNDERGROUND	48
TOTAL	49
BIKE PARKING	
UNDERGROUND	42
SURFACE	26
TOTAL	68

SHEET INDEX:	
SITE	ARCHITECTURAL
C-1.1	SITE PLAN
C-1.2	FIRE ACCESS PLAN
C-1.3	SITE LIGHTING PLAN
C-2.0	DEMOLITION PLAN
C-3.0	UTILITY PLAN
C-4.0	GRADING & EROSION CONTROL PLAN
C-5.0	CONSTRUCTION DETAILS
C-6.0	CONSTRUCTION DETAILS
LI	LANDSCAPE PLAN
	BUILDING #1
	A-1.0 BASEMENT FLOOR PLAN
	A-2.1 EXTERIOR ELEVATIONS
	A-2.2 EXTERIOR ELEVATIONS
	BUILDING #2
	A-1.0 BASEMENT FLOOR PLAN
	A-2.1 EXTERIOR ELEVATIONS
	A-2.2 EXTERIOR ELEVATIONS
	A-3.1 BUILDING SECTION

- Revisions
- REVISION 11, 2012 - PLAN APPROVAL
 - REVISION 8, 2012 - PLAN APPROVAL
 - REVISION 10, 2012 - PLAN APPROVAL
 - REVISION 20, 2012 - PLAN APPROVAL, RESUBMITTAL
 - REVISION 2, 2012 - PLAN APPROVAL, RESUBMITTAL


Project Title
**Nine Springs
Lots 12 & 13**

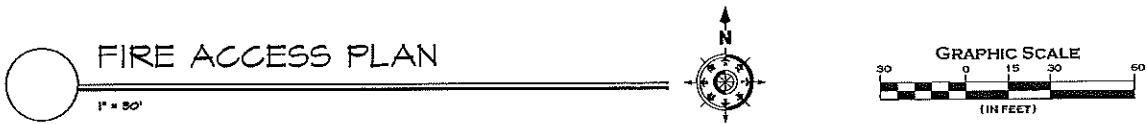
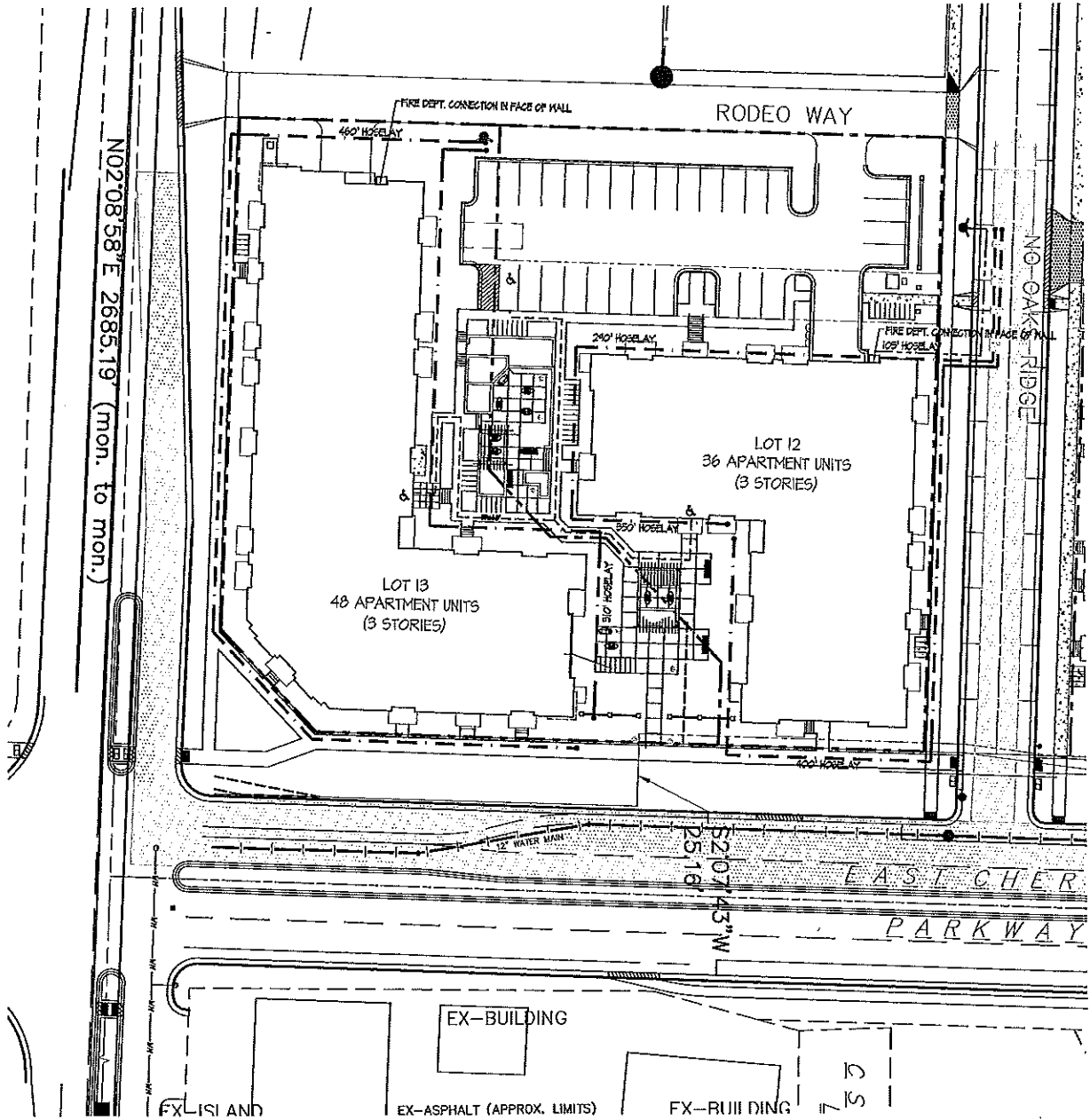
Drawing Title
Site Plan

Project No. Drawing No.

1220 C-1.1

This document contains confidential or proprietary information of Knothe & Bruce Architects. No part of this document may be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of Knothe & Bruce Architects. Knothe & Bruce Architects is a Limited Liability Company of Wisconsin.

1.  FIRE LANE. (SEE PLAN FOR ACTUAL WIDTH)
2. VARIOUS LINE TYPES REPRESENT 300' HOSE LAYS.



Revisions
AUGUST 11, 2012 - PLAN APPROVAL
SEPTEMBER 6, 2012 - PLAN APPROVAL
SEPTEMBER 10, 2012 - PLAN APPROVAL
SEPTEMBER 28, 2012 - PLAN APPROVAL REVISIONAL






Project Title
Nine Springs
Lots 12 & 13

Drawing Title
Fire Access Plan

Project No. Drawing No.
1220 C-1.2

This document contains confidential or proprietary information of Knothe & Bruce Architects. It is to be used only for the project and site shown. It is not to be reproduced, stored, used, or distributed without written permission of Knothe & Bruce Architects. Knothe & Bruce Architects is a Limited Liability Company of Wisconsin.

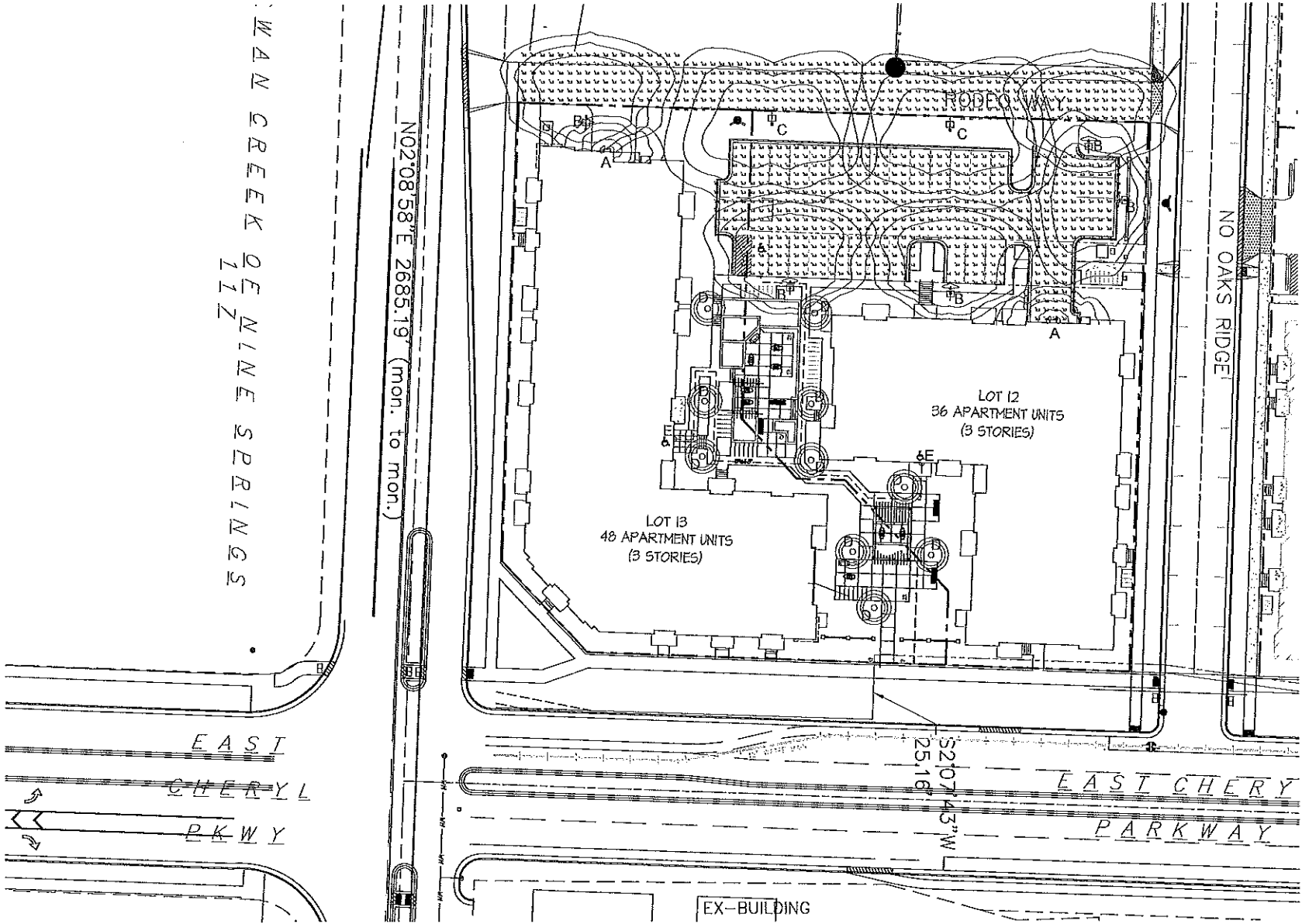
LIGHTING STATISTICS						
Description	Symbol	Arg	Max	Min	Max/Min	Avg/Min
PARKING LOTS	+	1.3 fc	8.2 fc	0.4 fc	20.5:1	3.3:1
RODEO WAY	+	1.1 fc	3.1 fc	0.3 fc	10.3:1	3.7:1

LIGHTING SCHEDULE									
Symbol	Label	Qty	Manufacturer	Catalog Number	Description	Lamp	Fps	Lumens	Mounting
	A	2	RUID LIGHTING	E6405	RECTANGULAR SECURITY / DEEP SHIELD	50 WATT IPI		3500	8'-0" UP ON SIDE OF BUILDING
	B	6	RUID LIGHTING	WAC	16" WEDGE AREA CUTOFF W/BACK LT. SHIELD	100W MH		9000	16' 0" POLE ON 2'-0" TALL CONC. BASE
	C	2	RUID LIGHTING	WPR	15" WEDGE / PARKING / ROAD WAY / TYPE III	100W MH		9000	16' 0" POLE ON 2'-0" TALL CONC. BASE
	D	10	LIGMAN LIGHTING	10052	ROMEO BOLLARD	CF-D 26W / 827 SYLVANIA		1800	AT GRADE O/H FLUSH CONC. BASE
	E	2	RUID LIGHTING	RC	RECESSED CANOPY DOWNLIGHT	100W PSMH			CEILING MOUNTED IN ENTRY CANOPY

KNOTHE & BRUCE ARCHITECTS
 7601 University Avenue Suite 201
 Middleton, Wisconsin 53562
 608-836-3690 Fax 836-6934

Consultant

Notes



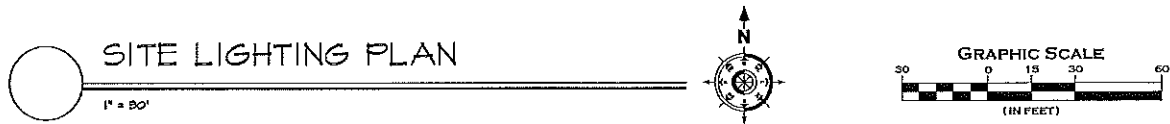
- Revisions
- AUGUST 11, 2012 - PLAN APPROVAL
 - SEPTEMBER 6, 2012 - PLAN APPROVAL
 - SEPTEMBER 10, 2012 - PLAN APPROVAL
 - SEPTEMBER 28, 2012 - PLAN APPROVAL RESUBMITAL
 -  OCTOBER 2, 2012 - PLAN APPROVAL RESUBMITAL

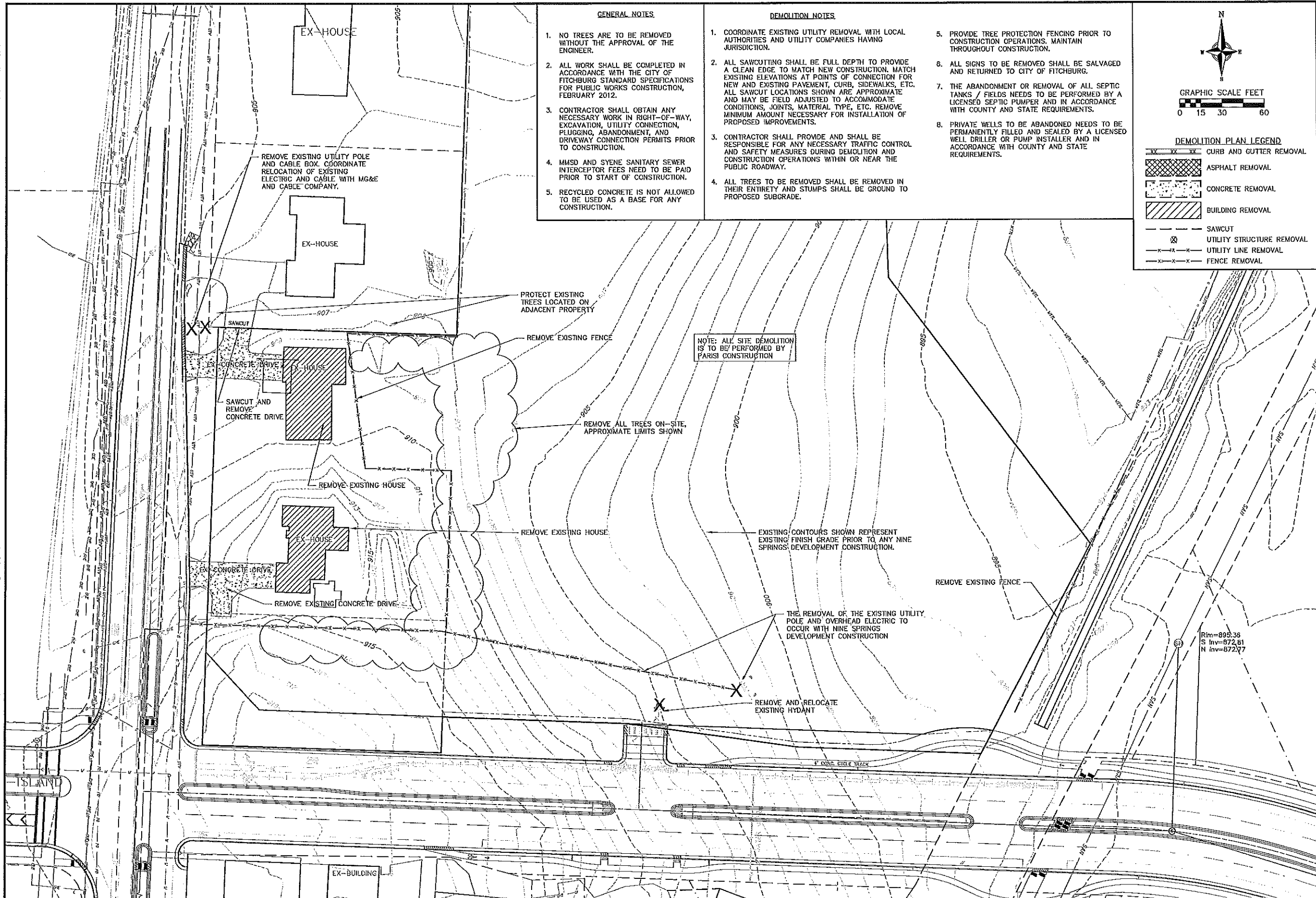
Project Title
 Nine Springs
 Lots 12 & 13

Drawing Title
 Site Lighting Plan

Project No. 1220 Drawing No. C-1.3

This document contains confidential or proprietary information of Knothe & Bruce Architects. Whether the document was created by or for Knothe & Bruce Architects, it is the property of Knothe & Bruce Architects. It is to be used only for the project and purpose for which it was created. It is not to be reproduced, distributed, used, or disclosed, either in whole or in part, except as specifically authorized by Knothe & Bruce Architects. Knothe & Bruce Architects is a Limited Liability Company in Wisconsin.

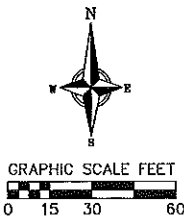




- GENERAL NOTES**

 1. NO TREES ARE TO BE REMOVED WITHOUT THE APPROVAL OF THE ENGINEER.
 2. ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH THE CITY OF FITCHBURG STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, FEBRUARY 2012.
 3. CONTRACTOR SHALL OBTAIN ANY NECESSARY WORK IN RIGHT-OF-WAY, EXCAVATION, UTILITY CONNECTION, PLUGGING, ABANDONMENT, AND DRIVEWAY CONNECTION PERMITS PRIOR TO CONSTRUCTION.
 4. MMSD AND SYENE SANITARY SEWER INTERCEPTOR FEES NEED TO BE PAID PRIOR TO START OF CONSTRUCTION.
 5. RECYCLED CONCRETE IS NOT ALLOWED TO BE USED AS A BASE FOR ANY CONSTRUCTION.
- DEMOLITION NOTES**

 1. COORDINATE EXISTING UTILITY REMOVAL WITH LOCAL AUTHORITIES AND UTILITY COMPANIES HAVING JURISDICTION.
 2. ALL SAWCUTTING SHALL BE FULL DEPTH TO PROVIDE A CLEAN EDGE TO MATCH NEW CONSTRUCTION. MATCH EXISTING ELEVATIONS AT POINTS OF CONNECTION FOR NEW AND EXISTING PAVEMENT, CURB, SIDEWALKS, ETC. ALL SAWCUT LOCATIONS SHOWN ARE APPROXIMATE AND MAY BE FIELD ADJUSTED TO ACCOMMODATE CONDITIONS, JOINTS, MATERIAL TYPE, ETC. REMOVE MINIMUM AMOUNT NECESSARY FOR INSTALLATION OF PROPOSED IMPROVEMENTS.
 3. CONTRACTOR SHALL PROVIDE AND SHALL BE RESPONSIBLE FOR ANY NECESSARY TRAFFIC CONTROL AND SAFETY MEASURES DURING DEMOLITION AND CONSTRUCTION OPERATIONS WITHIN OR NEAR THE PUBLIC ROADWAY.
 4. ALL TREES TO BE REMOVED SHALL BE REMOVED IN THEIR ENTIRETY AND STUMPS SHALL BE GROUND TO PROPOSED SUBGRADE.
 5. PROVIDE TREE PROTECTION FENCING PRIOR TO CONSTRUCTION OPERATIONS. MAINTAIN THROUGHOUT CONSTRUCTION.
 6. ALL SIGNS TO BE REMOVED SHALL BE SALVAGED AND RETURNED TO CITY OF FITCHBURG.
 7. THE ABANDONMENT OR REMOVAL OF ALL SEPTIC TANKS / FIELDS NEEDS TO BE PERFORMED BY A LICENSED SEPTIC PUMPER AND IN ACCORDANCE WITH COUNTY AND STATE REQUIREMENTS.
 8. PRIVATE WELLS TO BE ABANDONED NEEDS TO BE PERMANENTLY FILLED AND SEALED BY A LICENSED WELL DRILLER OR PUMP INSTALLER AND IN ACCORDANCE WITH COUNTY AND STATE REQUIREMENTS.



- DEMOLITION PLAN LEGEND**
- CURB AND GUTTER REMOVAL
 - ▨ ASPHALT REMOVAL
 - ▤ CONCRETE REMOVAL
 - ▩ BUILDING REMOVAL
 - - - SAWCUT
 - ⊗ UTILITY STRUCTURE REMOVAL
 - x - x - UTILITY LINE REMOVAL
 - x - x - FENCE REMOVAL

vierbicher
planners | engineers | advisors
REEDSBURG - MADISON - PRAIRIE DU CHIEN
400 Viking Lane, Reedburg, IL 61570
Phone: (815) 398-2200 Fax: (815) 398-2315

DEMOLITION PLAN

FIRST ADDITION TO NINE SPRINGS - LOTS 12 AND 13
STREET DEVELOPMENT PLANS
CITY OF FITCHBURG - DANE COUNTY, WISCONSIN

REVISIONS		REVISIONS		REVISIONS	
NO.	DATE	REMARKS	NO.	DATE	REMARKS
1	7-5-12	PLAT RESUBMITTAL			
2	7-31-12	ISSUED FOR PRICING			

SCALE AS SHOWN

DATE 7/5/12

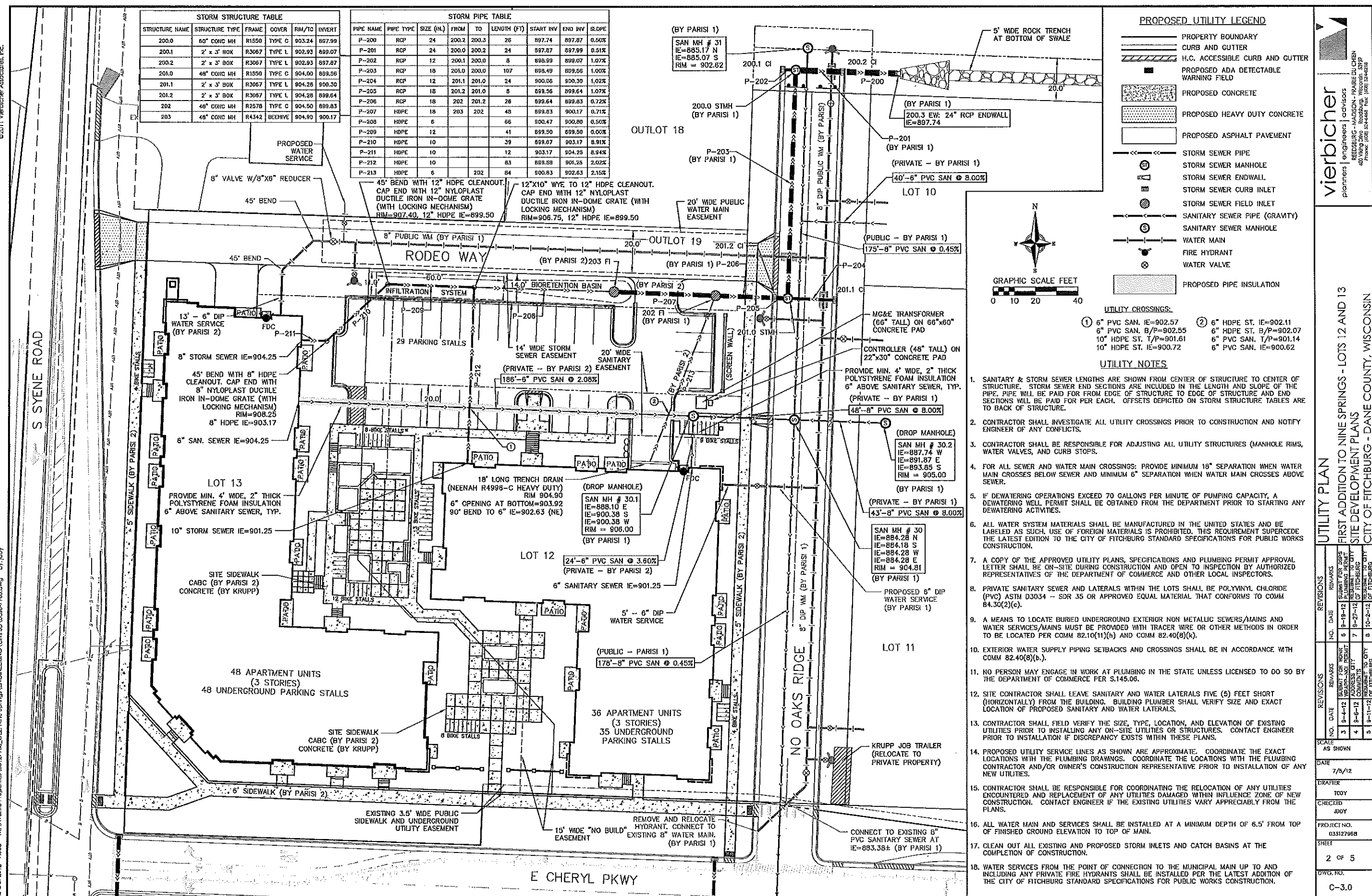
DRAWN TCOY

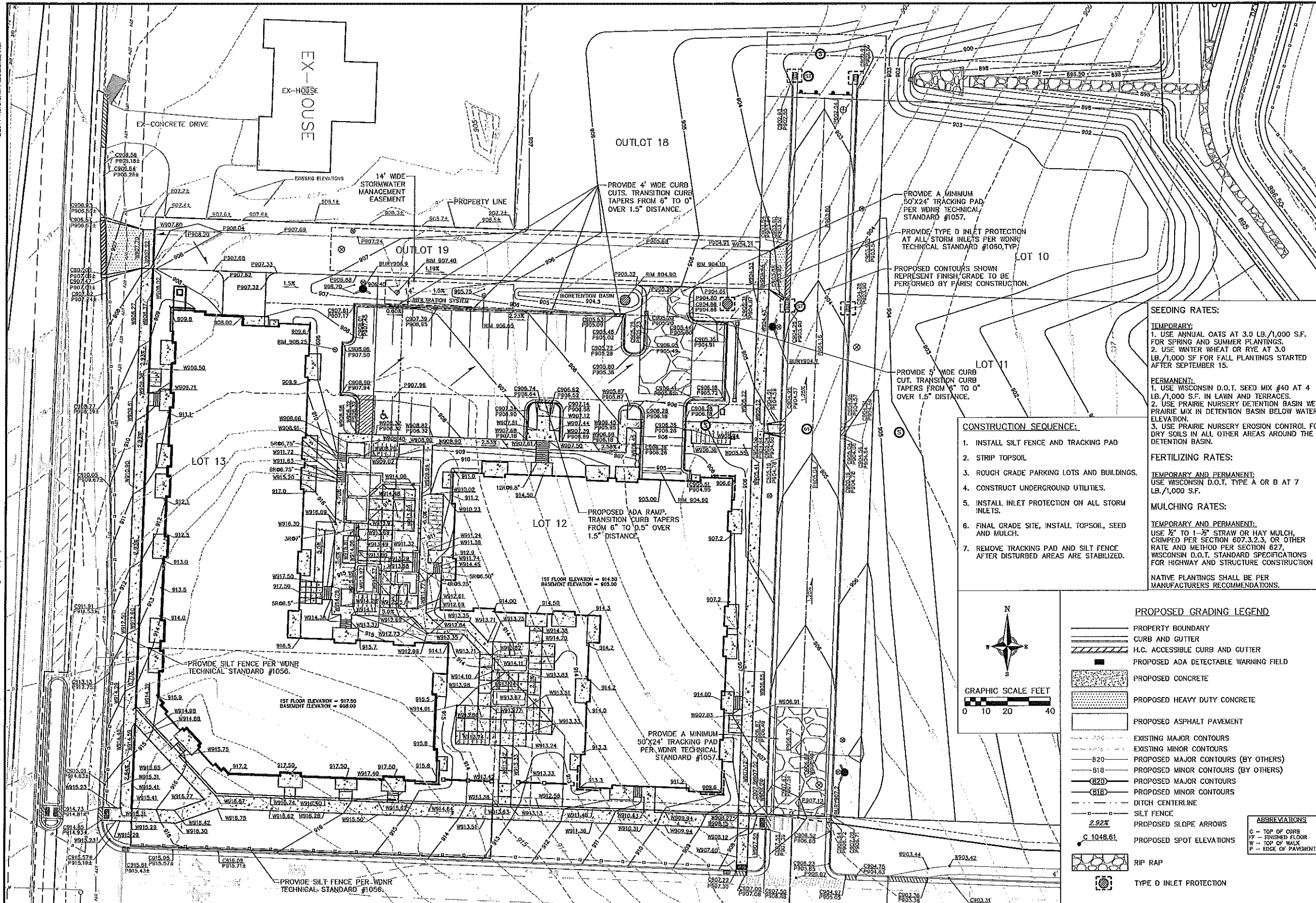
CHECKED DOJY

PROJECT NO. 03127968

SHEET 2 OF 9

DWG. NO. C-2.0





vierbicher
Planners | engineers | advisors
REEDSBURG - MADISON - FARMER DU CHEN
400 WINDY DRIVE, REEDSBURG, WISCONSIN 53151
PHONE: (608) 824-4444 FAX: (608) 824-2320

GRADING AND EROSION CONTROL PLAN

FIRST ADDITION TO NINE SPRINGS - LOTS 12 AND 13
SITE DEVELOPMENT PLANS
CITY OF FITCHBURG - DANE COUNTY, WISCONSIN

NO.	DATE	REVISIONS	NO.	DATE	REVISIONS
1	9-4-12	SUBMIT FOR WDR	6	9-18-12	PLUMBING PERMIT
2	9-4-12	WRAP-UP PERMIT	7	9-27-12	CE PERMIT CITY
3	9-6-12	ADDRESS CITY	8	10-2-12	RESUBMIT TO CITY
4	9-11-12	RESUBMIT TO CITY	9	10-2-12	OF FITCHBURG

DATE: 7/9/12

DRAWN: TOBY

CHECKED: JOOY

PROJECT NO.: 033127968

SHEET: 3 OF 5

DWG. NO.: C-4.0

SEEDING RATES:

TEMPORARY:

1. USE ANNUAL OATS AT 3.0 LB./1,000 S.F. FOR SPRING AND SUMMER PLANTINGS.
2. USE WINTER WHEAT OR RYE AT 3.0 LB./1,000 S.F. FOR FALL PLANTINGS STARTED AFTER SEPTEMBER 15.

PERMANENT:

1. USE WISCONSIN D.O.T. SEED MIX #40 AT 4 LB./1,000 S.F. IN LAWN AND TERRACES.
2. USE PRAIRIE NURSERY DETENTION BASIN VET PRAIRIE MIX IN DETENTION BASIN BELOW WATER ELEVATION.
3. USE PRAIRIE NURSERY EROSION CONTROL FOR DRY SOILS IN ALL OTHER AREAS AROUND THE DETENTION BASIN.

FERTILIZING RATES:

TEMPORARY AND PERMANENT:

USE WISCONSIN D.O.T. TYPE A OR B AT 7 LB./1,000 S.F.

MULCHING RATES:

TEMPORARY AND PERMANENT:

USE 1/2" TO 1-1/2" STRAW OR HAY MULCH, CRIMPED PER SECTION 607.3.2.3, OR OTHER RATE AND METHOD PER SECTION 627, WISCONSIN D.O.T. STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION

NATIVE PLANTINGS SHALL BE PER MANUFACTURERS RECOMMENDATIONS.

CONSTRUCTION SEQUENCE:

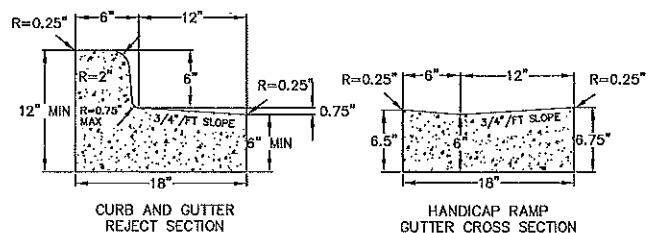
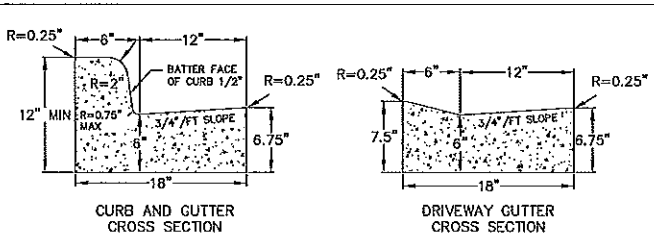
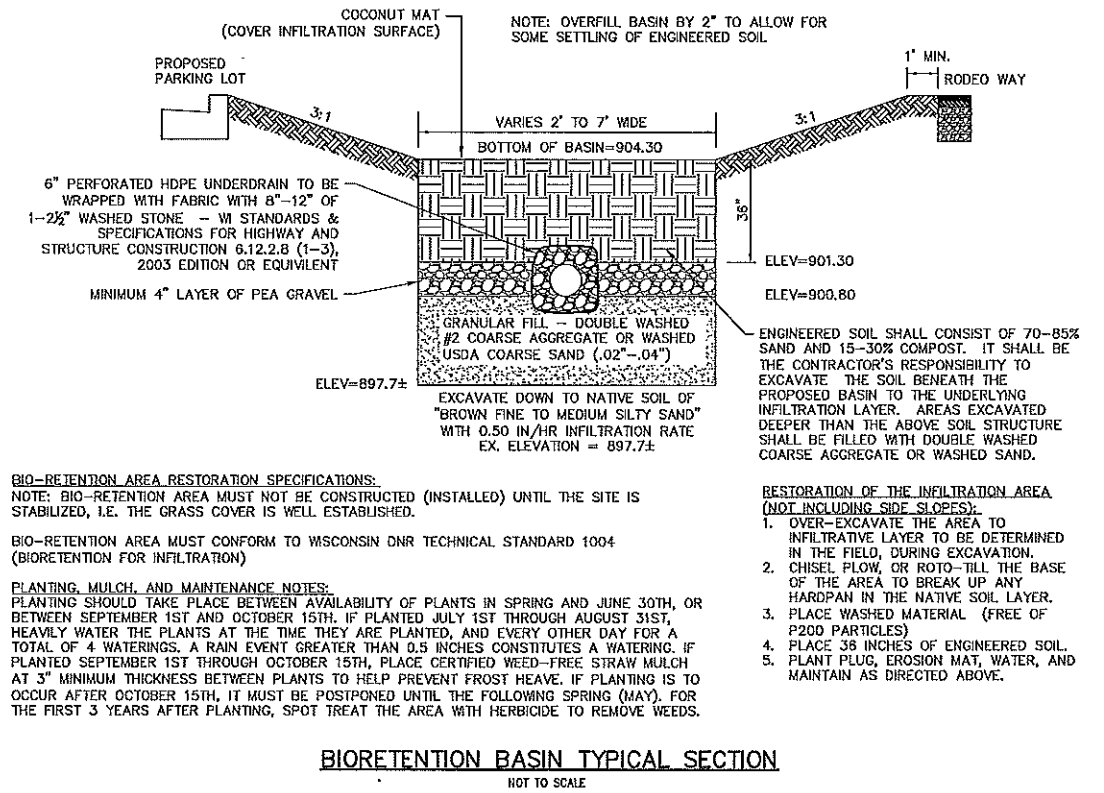
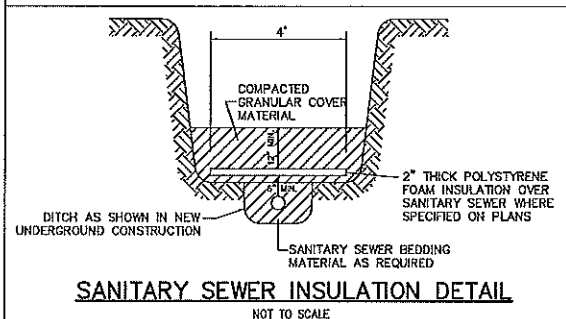
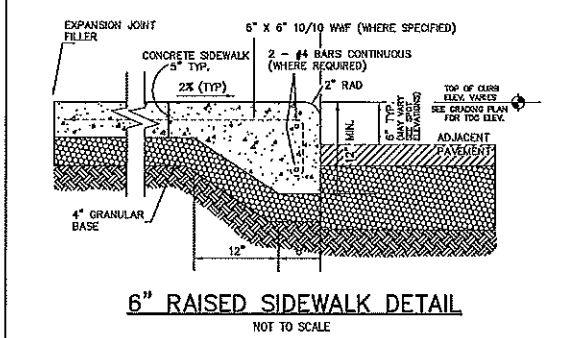
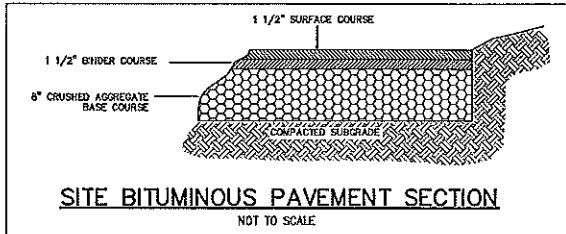
1. INSTALL SILT FENCE AND TRACKING PAD
2. STRIP TOPSOIL
3. ROUGH GRADE PARKING LOTS AND BUILDINGS.
4. CONSTRUCT UNDERGROUND UTILITIES.
5. INSTALL INLET PROTECTION ON ALL STORM INLETS.
6. FINAL GRADE SITE, INSTALL TOPSOIL, SEED AND MULCH.
7. REMOVE TRACKING PAD AND SILT FENCE AFTER DISTURBED AREAS ARE STABILIZED.

PROPOSED GRADING LEGEND

- PROPERTY BOUNDARY
- CURB AND GUTTER
- H.C. ACCESSIBLE CURB AND GUTTER
- PROPOSED ADA DETECTABLE WARNING FIELD
- PROPOSED CONCRETE
- PROPOSED HEAVY DUTY CONCRETE
- PROPOSED ASPHALT PAVEMENT
- EXISTING MAJOR CONTOURS
- EXISTING MINOR CONTOURS
- PROPOSED MAJOR CONTOURS (BY OTHERS)
- PROPOSED MINOR CONTOURS (BY OTHERS)
- PROPOSED MAJOR CONTOURS
- PROPOSED MINOR CONTOURS
- DITCH CENTERLINE
- SILT FENCE
- PROPOSED SLOPE ARROWS
- PROPOSED SPOT ELEVATIONS
- RIP RAP
- TYPE D INLET PROTECTION

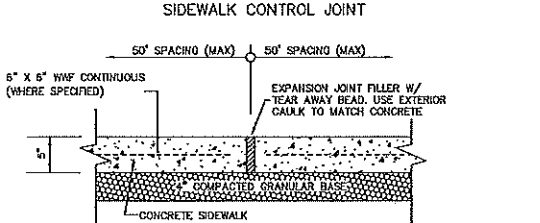
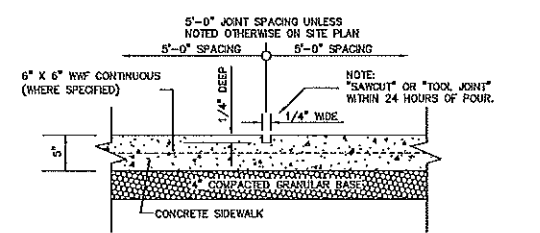
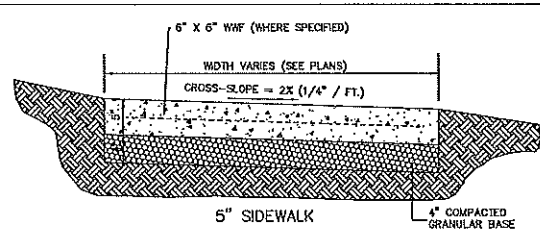
ABBREVIATIONS

- C - TOP OF CURB
- FF - FINISHED FLOOR
- W - TOP OF WALK
- P - EDGE OF PAVEMENT

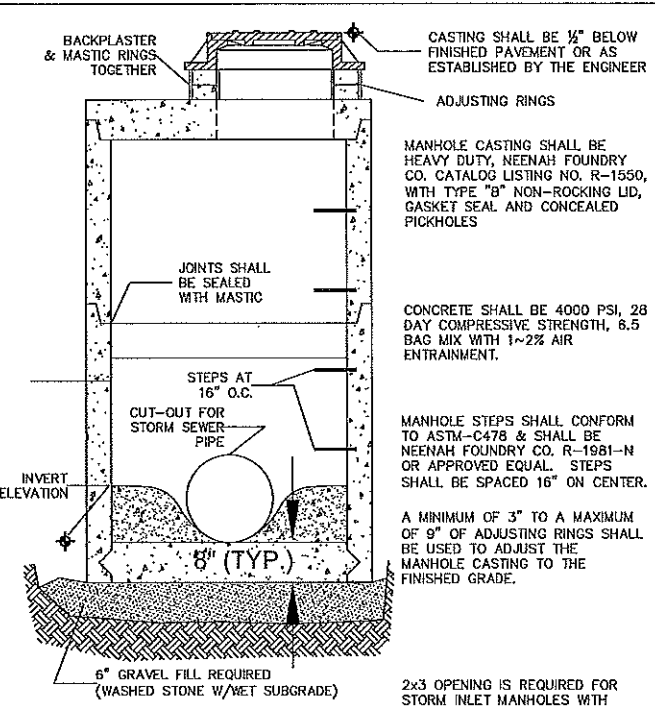


- NOTES:
1. ALL CURB AND GUTTER SHALL HAVE MIN. 6" BASE OF COMPACTED CRUSHED AGGREGATE, GRADATION NO. 2 OR 3 (TYP.)
 2. 6" BASE SHALL BE PROVIDED 12" BEYOND BACK OF CURB.
 3. ALL CURB AND GUTTER SHALL ALSO COMPLY WITH CITY OF FITCHBURG STANDARD DETAIL 4.01.
 4. "TIE BARS" ARE TO BE USED WITH CURB SECTION AND CURB AND GUTTER SECTION.
 5. IN ALL CASES, CONCRETE CURB AND GUTTER SHALL BE PLACED ON THOROUGHLY COMPACTED CRUSHED STONE.
 6. THE TOP OF CURB SHALL BE MARKED WHERE THE SANITARY SEWER AND WATER SERVICE CROSS THE CURB AND GUTTER. THE MARK MAY BE MADE BY SAWCUTTING, TOOLING, OR STAMPING. THE DEPTH SHALL BE A MINIMUM 1/16" DEEP.

18" CONCRETE CURB AND GUTTER
NOT TO SCALE

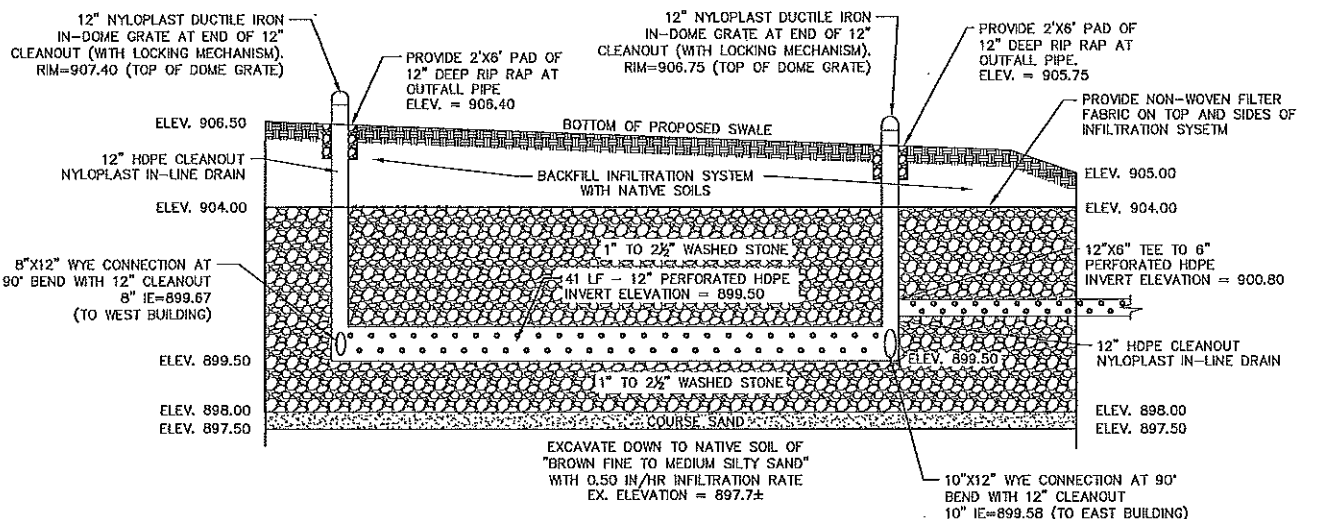


CONCRETE SIDEWALK
NOT TO SCALE



MANHOLE SIZE	DIMENSION	
	A	B (MIN.)
48"	48"	5"
60"	60"	6"
72"	72"	7"
84"	84"	7"
96"	96"	9"

STORM SEWER MANHOLE DETAIL
NOT TO SCALE



INFILTRATION SYSTEM DETAIL
NOT TO SCALE

engineers | advisors
planners

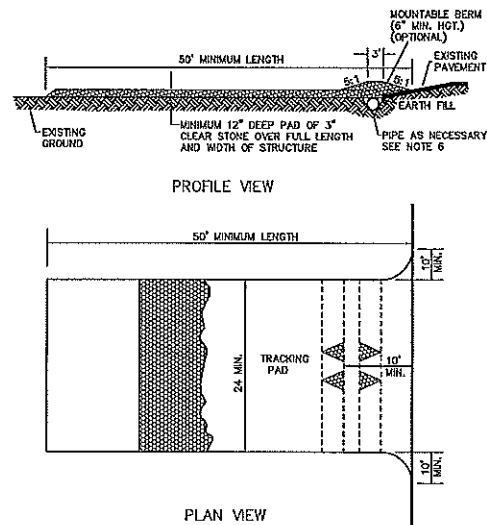
REEDSBURG - MADISON - FITCHBURG
400 Viking Drive
Reedsburg, Wisconsin 53959
Phone: (608) 246-0000 Fax: (608) 246-0001

CONSTRUCTION DETAILS

FIRST ADDITION TO NINE SPRINGS - LOTS 12 AND 13
SITE DEVELOPMENT PLANS
CITY OF FITCHBURG - DANE COUNTY, WISCONSIN

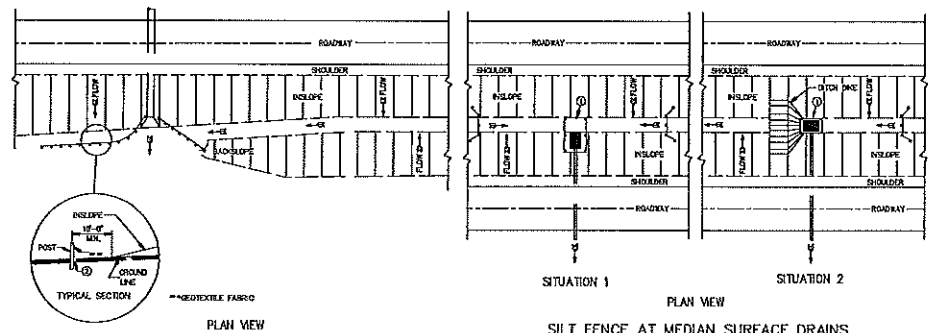
REVISIONS	
NO.	DATE
1	7/5/12

DATE: 7/5/12
DRAWN: JDOY
CHECKED: JDOY
PROJECT NO.: 033127468
SHEET: 4 OF 5
DWG. NO.: C-5.0



- 1) FOLLOW WISCONSIN DNR TECHNICAL STANDARD 1057 FOR FURTHER DETAILS AND INSTALLATION.
- 2) LENGTH - MINIMUM OF 50'.
- 3) WIDTH - 24' MINIMUM, SHOULD BE FLARED AT THE EXISTING ROAD TO PROVIDE A TURNING RADIUS.
- 4) ON SITES WITH A HIGH GROUND WATER TABLE OR WHERE SATURATED CONDITIONS EXIST, GEOTEXTILE FABRIC SHALL BE PLACED OVER EXISTING GROUND PRIOR TO PLACING STONE. FABRIC SHALL BE WSDOT TYPE-HR GEOTEXTILE FABRIC.
- 5) STONE - CRUSHED 3" CLEAR STONE SHALL BE PLACED AT LEAST 12" DEEP OVER THE ENTIRE LENGTH AND WIDTH OF ENTRANCE.
- 6) SURFACE WATER - ALL SURFACE WATER FLOWING TO OR DIVERTED TOWARDS CONSTRUCTION ENTRANCES SHALL BE PIPED THROUGH THE ENTRANCE, MAINTAINING POSITIVE DRAINAGE. PIPE INSTALLED THROUGH THE STABILIZED CONSTRUCTION ENTRANCE SHALL BE PROTECTED WITH A MOUNTABLE BERM WITH 5:1 SLOPES AND MINIMUM OF 6" STONE OVER THE PIPE. PIPE SHALL BE SIZED ACCORDING TO THE DRAINAGE REQUIREMENTS. WHEN THE ENTRANCE IS LOCATED AT A HIGH SPOT AND HAS NO DRAINAGE TO CONVEY A PIPE SHALL NOT BE NECESSARY. THE MINIMUM PIPE DIAMETER SHALL BE 6". CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF SAID PIPE.
- 7) LOCATION - A STABILIZED CONSTRUCTION ENTRANCE SHALL BE LOCATED WHERE CONSTRUCTION TRAFFIC ENTERS AND/OR LEAVES THE CONSTRUCTION SITE. VEHICLES LEAVING THE SITE MUST TRAVEL OVER THE ENTIRE LENGTH OF THE TRACKING PAD.

STONE TRACKING PAD
NOT TO SCALE



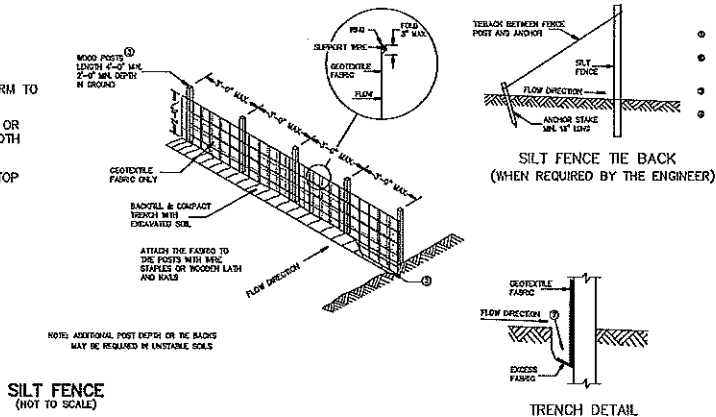
TYPICAL APPLICATIONS OF SILT FENCE

GENERAL NOTES

DETAIL OF CONSTRUCTION NOT SHOWN ON THIS DRAWING SHALL CONFORM TO THE PERTINENT REQUIREMENTS OF THE SPECIFICATIONS.

WHEN POSSIBLE THE SILT FENCE SHOULD BE CONSTRUCTED IN AN ARC OR HORSESHOE SHAPE, WITH THE ENDS POINTING UPSLOPE TO MAXIMIZE BOTH STRENGTH AND EFFECTIVENESS.

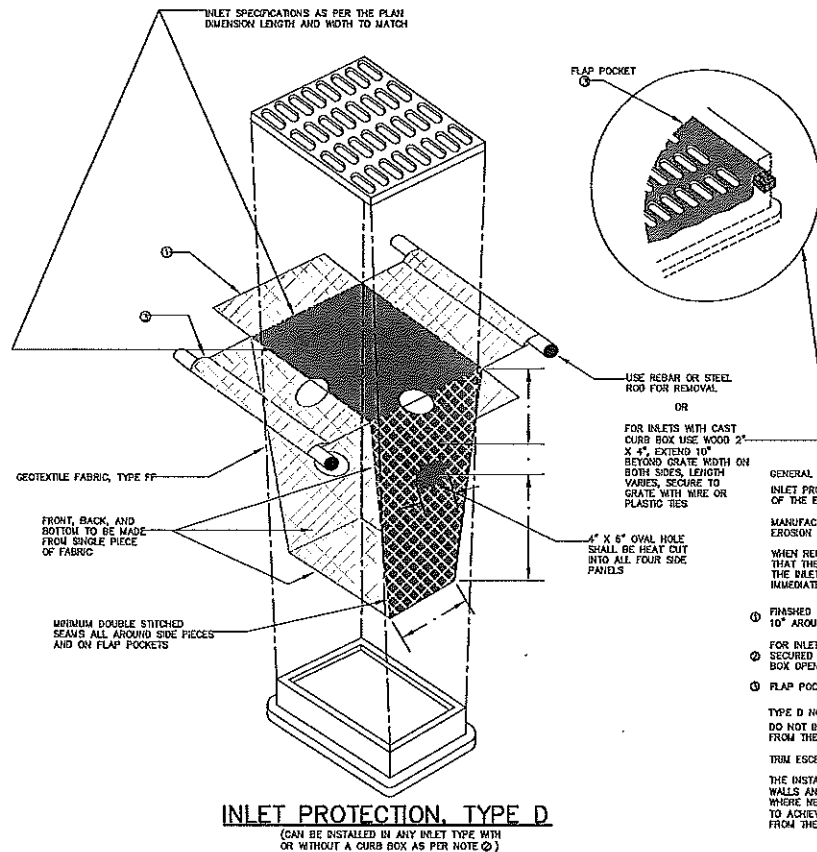
- ① HORIZONTAL BRACE WITH 2" x 4" WOODEN FRAME OR EQUIVALENT AT TOP OF POSTS AS DIRECTED BY THE ENGINEER.
- ② TRENCH SHALL BE A MINIMUM OF 4" WIDE & 6" DEEP TO BURY AND ANCHOR THE GEOTEXTILE FABRIC. FOLD MATERIAL TO FIT TRENCH AND BACKFILL & COMPACT TRENCH WITH EXCAVATED SOIL.
- ③ WOOD POSTS SHALL BE A MINIMUM SIZE OF 1 1/8" x 1 1/8" OF OAK OR HICKORY.



SILT FENCE
(NOT TO SCALE)

EROSION CONTROL MEASURES

1. EROSION CONTROL SHALL BE IN ACCORDANCE WITH THE CITY OF FITCHBURG EROSION CONTROL ORDINANCE AND CHAPTER NR 216 OF THE WISCONSIN ADMINISTRATIVE CODE.
2. CONSTRUCT AND MAINTAIN ALL EROSION AND SEDIMENT CONTROL MEASURES IN ACCORDANCE WITH WISCONSIN DNR TECHNICAL STANDARDS (<http://dnr.wi.gov/runoff/stormwater/techstds.htm>).
3. INSTALL SEDIMENT CONTROL PRACTICES (TRACKING PAD, PERIMETER SILT FENCE, SEDIMENT BASINS, ETC.) PRIOR TO INITIATING OTHER LAND DISTURBING CONSTRUCTION ACTIVITIES.
4. THE CONTRACTOR IS REQUIRED TO MAKE EROSION CONTROL INSPECTIONS AT THE END OF EACH WEEK AND WHEN 0.5 INCHES OF RAIN FALLS WITHIN 24 HOURS. INSPECTION REPORTS SHALL BE PREPARED AND FILED AS REQUIRED BY THE DNR AND/OR CITY. ALL MAINTENANCE WILL FOLLOW AN INSPECTION WITHIN 24 HOURS.
5. EROSION CONTROL IS THE RESPONSIBILITY OF THE CONTRACTOR UNTIL ACCEPTANCE OF THIS PROJECT. EROSION CONTROL MEASURES AS SHOWN SHALL BE THE MINIMUM PRECAUTIONS THAT WILL BE ALLOWED. ADDITIONAL EROSION CONTROL MEASURES, AS REQUESTED IN WRITING BY THE STATE OR LOCAL INSPECTORS, OR THE DEVELOPER'S ENGINEER, SHALL BE INSTALLED WITHIN 24 HOURS.
6. A 3" CLEAR STONE TRACKING PAD SHALL BE INSTALLED AT THE END OF ROAD CONSTRUCTION LIMITS TO PREVENT SEDIMENT FROM BEING TRACKED ONTO THE ADJACENT PAVED PUBLIC ROADWAY. SEDIMENT TRACKING PAD SHALL CONFORM TO WSDNR TECHNICAL STANDARD 1057. SEDIMENT REACHING THE PUBLIC ROAD SHALL BE REMOVED BY STREET CLEANING (NOT HYDRAULIC FLUSHING) BEFORE THE END OF EACH WORK DAY.
7. CHANNELIZED RUNOFF FROM ADJACENT AREAS PASSING THROUGH THE SITE SHALL BE DIVERTED AROUND DISTURBED AREAS.
8. STABILIZED DISTURBED GROUND: ANY SOIL OR DIRT PILES WHICH WILL REMAIN IN EXISTENCE FOR MORE THAN 7-CONSECUTIVE DAYS, WHETHER TO BE WORKED DURING THAT PERIOD OR NOT, SHALL NOT BE LOCATED WITHIN 25-FOOT OF ANY ROADWAY, PARKING LOT, PAVED AREA, OR DRAINAGE STRUCTURE OR CHANNEL (UNLESS INTENDED TO BE USED AS PART OF THE EROSION CONTROL MEASURES). TEMPORARY STABILIZATION AND CONTROL MEASURES (SEEDING, MULCHING, TARPING, EROSION MATTING, BARRIER FENCING, ETC.) ARE REQUIRED FOR THE PROTECTION OF DISTURBED AREAS AND SOIL PILES, WHICH WILL REMAIN UN-WORKED FOR A PERIOD OF MORE THAN 14-CONSECUTIVE CALENDAR DAYS. THESE MEASURES SHALL REMAIN IN PLACE UNTIL SITE HAS STABILIZED.
9. SITE DE-WATERING: WATER PUMPED FROM THE SITE SHALL BE TREATED BY TEMPORARY SEDIMENTATION BASINS OR OTHER APPROPRIATE CONTROL MEASURES. SEDIMENTATION BASINS SHALL HAVE A DEPTH OF AT LEAST 3 FEET, BE SURROUNDED BY SNOWFENCE OR EQUIVALENT BARRIER AND HAVE SUFFICIENT SURFACE AREA TO PROVIDE A SURFACE SETTLING RATE OF NO MORE THAN 750 GALLONS PER SQUARE FOOT PER DAY AT THE HIGHEST DEWATERING PUMPING RATE. WATER MAY NOT BE DISCHARGED IN A MANNER THAT CAUSES EROSION OF THE SITE, A NEIGHBORING SITE, OR THE BED OR BANKS OF THE RECEIVING WATER. POLYMERS MAY BE USED AS DIRECTED BY DNR TECHNICAL STANDARD 1061 (DE-WATERING).
10. WASHED STONE WEEPERS OR TEMPORARY EARTH BERMS SHALL BE BUILT PER PLAN BY CONTRACTOR TO TRAP SEDIMENT OR SLOW THE VELOCITY OF STORM WATER.
11. SEE DETAIL SHEETS FOR RIP-RAP SIZING. IN NO CASE WILL RIP-RAP BE SMALLER THAN 3" TO 6".
12. INLET FILTERS ARE TO BE PLACED IN STORMWATER INLET STRUCTURES AS SOON AS THEY ARE INSTALLED. ALL PROJECT AREA STORM INLETS NEED WISCONSIN D.O.T. TYPE D INLET PROTECTION. THE FILTERS SHALL BE MAINTAINED UNTIL THE CITY HAS ACCEPTED THE BINDER COURSE OF ASPHALT.
13. USE DETENTION BASINS AS SEDIMENT BASINS DURING CONSTRUCTION (DO NOT USE INFILTRATION AREAS). AT THE END OF CONSTRUCTION, REMOVE SEDIMENT AND RESTORE PER PLAN.
14. RESTORATION (SEED, FERTILIZE AND MULCH) SHALL BE PER SPECIFICATIONS ON THIS SHEET UNLESS SPECIAL RESTORATION IS CALLED FOR ON THE LANDSCAPE PLAN OR THE DETENTION BASIN DETAIL SHEET.
15. TERRACES SHALL BE RESTORED WITH 6" TOPSOIL, PERMANENT SEED, FERTILIZER AND MULCH. LOTS SHALL BE RESTORED WITH 6" TOPSOIL, TEMPORARY SEED, FERTILIZER AND MULCH.
16. SEED, FERTILIZER AND MULCH SHALL BE APPLIED WITHIN 7 DAYS AFTER FINAL GRADE HAS BEEN ESTABLISHED. IF DISTURBED AREAS WILL NOT BE RESTORED IMMEDIATELY AFTER ROUGH GRADING, TEMPORARY SEED SHALL BE PLACED.
17. FOR THE FIRST SIX WEEKS AFTER RESTORATION (E.G. SEED & MULCH, EROSION MAT, SOD) OF A DISTURBED AREA, INCLUDE SUMMER WATERING PROVISIONS OF ALL NEWLY SEEDED AND MULCHED AREAS WHENEVER 7 DAYS ELAPSE WITHOUT A RAIN EVENT.
18. EROSION MAT (TYPE I CLASS A PER WISCONSIN D.O.T. P.A.L.) SHALL BE INSTALLED ON ALL SLOPES 5:1 OR GREATER BUT LESS THAN 1:1.
19. SOIL STABILIZERS SHALL BE APPLIED TO DISTURBED AREAS WITH SLOPES BETWEEN 10% AND 3:1 (DO NOT USE IN CHANNELS). SOIL STABILIZERS SHALL BE TYPE B, PER WISCONSIN D.O.T. P.A.L. (PRODUCT ACCEPTABILITY LIST), OR EQUAL. APPLY AT RATES AND METHODS SPECIFIED PER MANUFACTURER/THIS SHEET. SOIL STABILIZERS SHALL BE RE-APPLIED WHENEVER VEHICLES OR OTHER EQUIPMENT TRACK ON THE AREA.
20. SILT FENCE OR EROSION MAT SHALL BE INSTALLED ALONG THE CONTOURS AT 100 FOOT INTERVALS DOWN THE SLOPE ON THE DISTURBED SLOPES STEEPER THAN 5% AND MORE THAN 100 FEET LONG THAT SHEET FLOW TO THE ROADWAY UNLESS SOIL STABILIZERS ARE USED.
21. SILT FENCE TO BE USED ACROSS AREAS OF THE LOT THAT SLOPE TOWARDS A PUBLIC STREET OR WATERWAY. SEE DETAILS.
22. SEDIMENT SHALL BE CLEANED FROM CURB AND GUTTER AFTER EACH RAINFALL AND PRIOR TO PROJECT ACCEPTANCE.
23. ACCUMULATED CONSTRUCTION SEDIMENT SHALL BE REMOVED FROM ALL PERMANENT BASINS TO THE ELEVATION SHOWN ON THE GRADING PLAN FOLLOWING THE STABILIZATION OF DRAINAGE AREAS.
24. ALL CONSTRUCTION ENTRANCES SHALL HAVE TEMPORARY ROAD CLOSED SIGNS THAT WILL BE IN PLACE WHEN THE ENTRANCE IS NOT IN USE AND AT THE END OF EACH DAY.
25. ANY PROPOSED CHANGES TO THE EROSION CONTROL PLAN MUST BE SUBMITTED AND APPROVED BY THE CITY OF FITCHBURG.
26. THE CITY, OWNER AND/OR ENGINEER MAY REQUIRE ADDITIONAL EROSION CONTROL MEASURES AT ANY TIME DURING CONSTRUCTION.



INLET PROTECTION, TYPE D
(CAN BE INSTALLED IN ANY INLET TYPE WITH OR WITHOUT A CURB BOX AS PER NOTE ②)

GENERAL NOTES:

INLET PROTECTION DEVICES SHALL BE MAINTAINED OR REPLACED AT THE DIRECTION OF THE ENGINEER.

MANUFACTURED ALTERNATIVES APPROVED AND LISTED ON THE DEPARTMENT'S EROSION CONTROL PRODUCT ACCEPTABILITY LIST MAY BE SUBSTITUTED.

WHEN REMOVING OR MAINTAINING INLET PROTECTION, CARE SHALL BE TAKEN SO THAT THE SEDIMENT TRAPPED ON THE GEOTEXTILE FABRIC DOES NOT FALL INTO THE DRAIN. ANY MATERIAL FALLING INTO THE INLET SHALL BE REMOVED IMMEDIATELY.

- ① FINISHED SIZE, INCLUDING FLAP POCKETS WHERE REQUIRED, SHALL EXTEND A MINIMUM OF 10" AROUND THE PERIMETER TO FACILITATE MAINTENANCE OR REMOVAL.
- ② FOR INLET PROTECTION AN ADDITIONAL 18" OF FABRIC WRAPPED AROUND THE WOOD AND SECURED WITH STAPLES. THE WOOD SHALL NOT BLOCK THE ENTIRE HEIGHT OF THE CURB BOX OPENING.
- ③ FLAP POCKETS SHALL BE LARGE ENOUGH TO ACCEPT WOOD 2X4.

TYPE D NOTES:

DO NOT INSTALL INLET PROTECTION TYPE D IN INLETS SHALLOWER THAN 30", MEASURED FROM THE BOTTOM OF THE DRAIN TO THE TOP OF THE GRATE.

TRIM EXCESS FABRIC IN THE FLOW LINE WITHIN 3" OF THE GRATE.

THE INSTALLED BAG SHALL HAVE A MINIMUM SIDE CLEARANCE, BETWEEN THE INLET WALLS AND THE BAG, MEASURED AT THE BOTTOM OF THE OVERFLOW HOLES, OF 3". WHERE NECESSARY THE CONTRACTOR SHALL CHOP THE BAG, LEAVING PLASTIC 2" THICK, TO ACHIEVE THE 3" CLEARANCE. THE TIES SHALL BE PLACED AT A MAXIMUM OF 4" FROM THE BOTTOM OF THE BAG.

REVISIONS	NO.	DATE	REMARKS
1	9-15-12	9-15-12	SUBMIT FOR D.B.S. PERMIT
2	9-15-12	9-15-12	PERMIT
3	9-15-12	9-15-12	ADDRESS CITY
4	9-15-12	9-15-12	RESUBMIT TO CITY
5	9-15-12	9-15-12	RESUBMIT TO CITY

DATE	7/5/12
DRAWN	TCOY
CHECKED	JOY
PROJECT NO.	033127968
SHEET	5 OF 5
DWG. NO.	C-6.0

Notes

1. MAINTAIN 7'-0" MINIMUM HEADROOM - TYPICAL MECHANICAL, ELECTRICAL, PLUMBING, AND FIRE PROTECTION TO VERIFY COMPLIANCE PRIOR TO SYSTEMS INSTALLATION
2. CARBON MONOXIDE DETECTORS TO BE INSTALLED IN ACCORDANCE WITH WISCONSIN CODE 62.1200

Revisions

- JULY 24, 2012 - NOT FOR CONSTRUCTION
AUGUST 11, 2012 - ISSUED FOR PLAN REVIEW
AUGUST 24, 2012
SEPTEMBER 6, 2012 - PLAN REVIEW
OCTOBER 2, 2012 - PLAN REVIEW RESUBMITTAL

Project Title

Nine Springs
Lot 12

Building #2 - 36 Unit

Drawing Title

Basement Plan

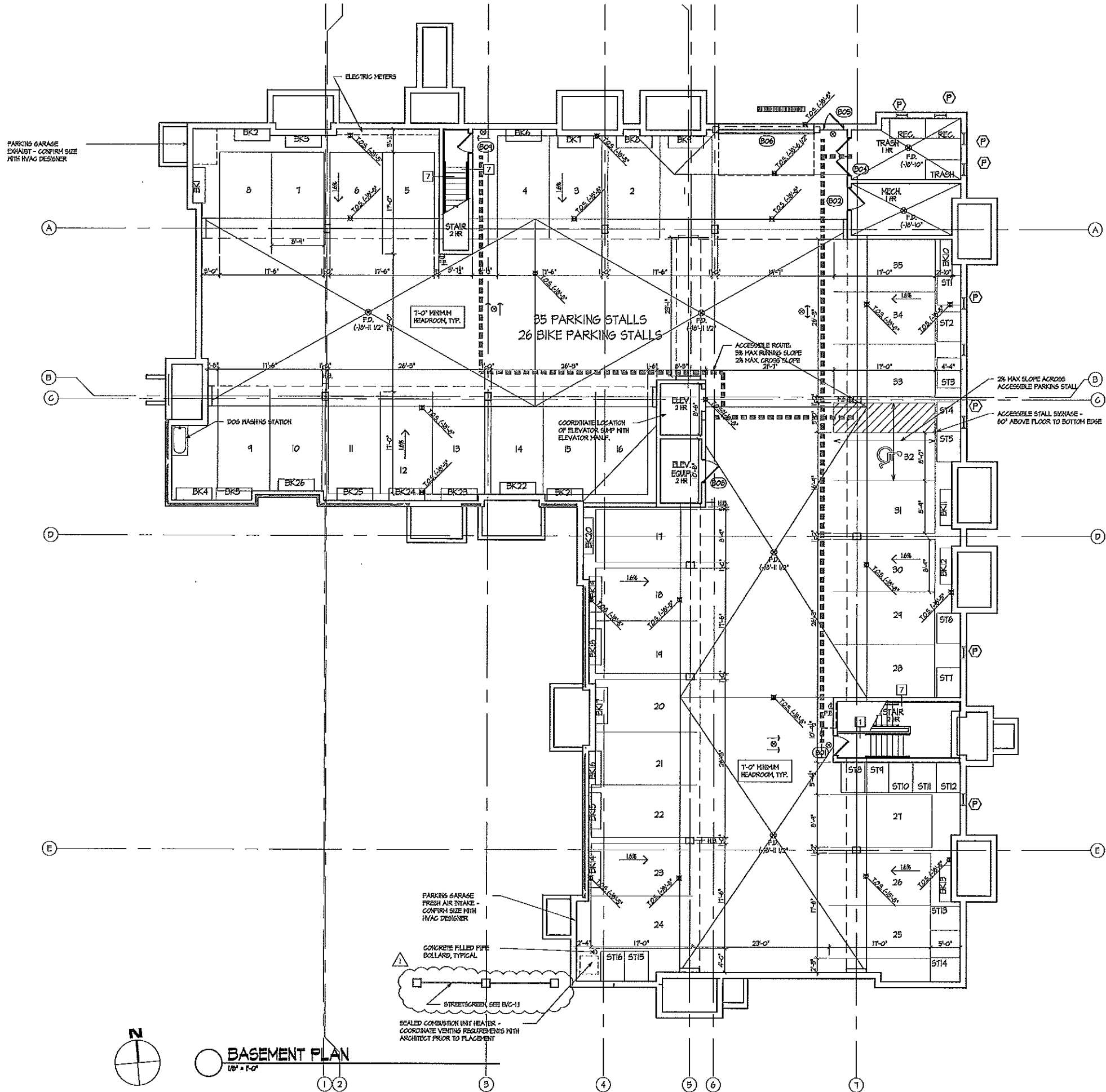
Project No.

1220

Drawing No.

A-1.0

This document contains confidential or proprietary information of Knothe & Bruce Architects. It is to be used only for the project and location specified. It is not to be reproduced, stored, or transmitted in any form or by any means, electronic, mechanical, or otherwise, without the prior written consent of Knothe & Bruce Architects. Knothe & Bruce Architects is a Limited Liability Company of Wisconsin.



Consultant

Notes

MASONRY LINTEL SCHEDULE	
OPENING	
UP TO 6'-0"	13x13x4
7'-0"	13x13x4
8'-0"	14x13x4 LLV
9'-0"	14x13x16 LLV

** MINIMUM BEARING LENGTH FOR MASONRY LINTELS IS 6" **

EXTERIOR MATERIAL SCHEDULE			
BUILDING MATERIAL	MATERIAL	MANUFACTURER	COLOR
HORIZONTAL SIDING #1	COMPOSITE	JAMES HARDIE	AUTUMN TAN
HORIZONTAL SIDING #2	COMPOSITE	JAMES HARDIE	TIRED BARK
METAL PANEL	METAL	CMS - COATED METALS GROUP	WESTERN RUST
WINDOW TRIM	COMPOSITE	JAMES HARDIE	AUTUMN TAN
WINDOES	VINYL	T.B.D.	CAMEO
RECESSED BRICK VENEER	MASONRY	BRAMPTON BRICK	BROWN VELOUR
BRICK VENEER	MASONRY	SUMMIT BRICK AND TILE COMPANY	ST. CHARLES
MASONRY BASE		RENAISSANCE	T.B.D.
MORTAR			COLOR TO MATCH MASONRY
FLASHING	STEEL	PAC CLAD	MATCH TO ADJACENT MATERIAL
PRECAST SILL	PRECAST	EDWARDS	
DOWNPOUT	ALUMINUM		MATCH TO ADJACENT MATERIAL
DECK TRIM	STEEL CHANNEL		DARK BRONZE
RAILING	WOOD		
ENTRANCE DOORS	ALUMINUM	T.B.D.	DARK BRONZE
BASMENT WINDOWS	ALUMINUM	T.B.D.	DARK BRONZE
GARAGE MAIN DOOR	STEEL	T.B.D.	ALMOND
OVERHEAD GARAGE DOOR	ALUMINUM	T.B.D.	ALMOND

TYPICAL MATERIALS:

RECESSED BRICK COURSE

METAL PANEL

BRICK VENEER

COMPOSITE SIDING

RENAISSANCE STONE
TEXTURE FACE RENAISSANCE STONE

ALUMINUM RAILING

NORTH ELEVATION
1/8" = 1'-0"

Revisions
JULY 24, 2012 - NOT FOR CONSTRUCTION
AUGUST 17, 2012 - ISSUED FOR PLAN REVIEW
AUGUST 24, 2012
SEPTEMBER 6, 2012 - PLAN REVIEW
SEPTEMBER 28, 2012 - PLAN REVIEW RESUBMITTAL
OCTOBER 2, 2012 - PLAN REVIEW RESUBMITTAL

Project Title
Nine Springs
Lot 12

Building #2 - 36 Unit
Drawing Title
Elevations

Project No. 1220
Drawing No. A-2.1

This document contains confidential or proprietary information of Knothe & Bruce Architects. No part of this document may be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of Knothe & Bruce Architects. Knothe & Bruce Architects is an Equal Opportunity Employer.



SOUTH ELEVATION
1/8" = 1'-0"



WEST ELEVATION
1/8" = 1'-0"

Revisions
JULY 24, 2012 - NOT FOR CONSTRUCTION
AUGUST 11, 2012 - ISSUED FOR PLAN REVIEW
AUGUST 24, 2012
SEPTEMBER 6, 2012 - PLAN REVIEW
A REDUCE PARAPET HEIGHT
SEPTEMBER 26, 2012 - PLAN REVIEW RESUBMITTAL
OCTOBER 2, 2012 - PLAN REVIEW RESUBMITTAL

Project Title
Nine Springs
Lot 12

Building #2 - 36 Unit
Drawing Title
Elevations

Project No. 1220 Drawing No. A-2.2

This document contains confidential or proprietary information of Knothe & Bruce Architects. No other use or disclosure of this information is permitted without the written consent of Knothe & Bruce Architects. Knothe & Bruce Architects is a Limited Liability Company of Wisconsin.

Consultant

Notes

1. HASTAN T-0" MINIMUM HEADROOM - TYPICAL MECHANICAL, ELECTRICAL, PLUMBING, AND FIRE PROTECTION TO VERIFY COMPLIANCE PRIOR TO SYSTEMS INSTALLATION
2. CARBON MONOXIDE DETECTORS TO BE INSTALLED IN ACCORDANCE WITH WISCONSIN CODE 4.02.000

Revisions

- JULY 24, 2012 - NOT FOR CONSTRUCTION
AUGUST 11, 2012 - ISSUED FOR PLAN REVIEW
AUGUST 24, 2012
SEPTEMBER 6, 2012 - PLAN REVIEW
OCTOBER 2, 2012 - PLAN REVIEW RESUBMITTAL

Project Title

Nine Springs
Lot 13

Building #1 - 48 Unit

Drawing Title
Basement Plan

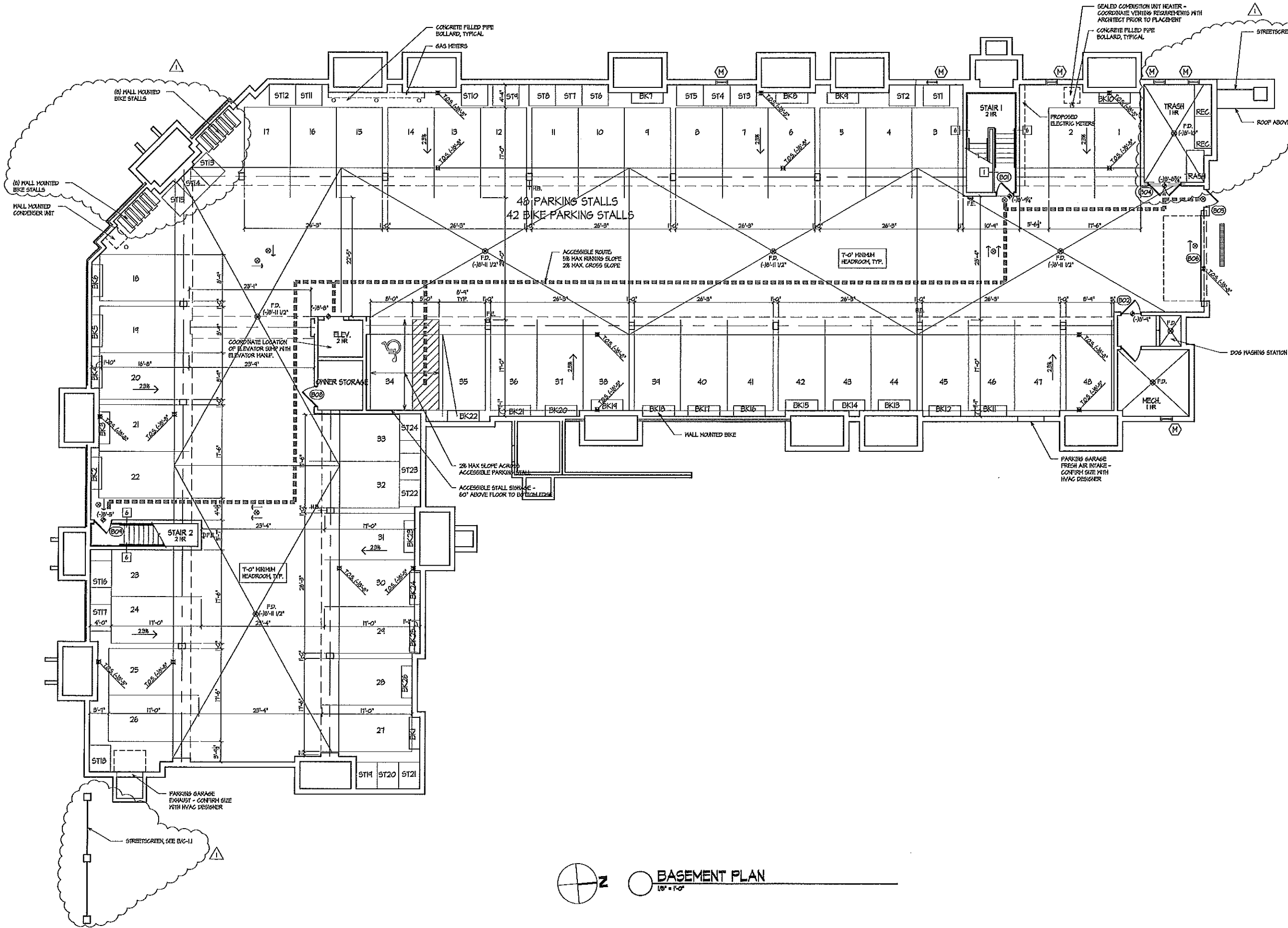
Project No.

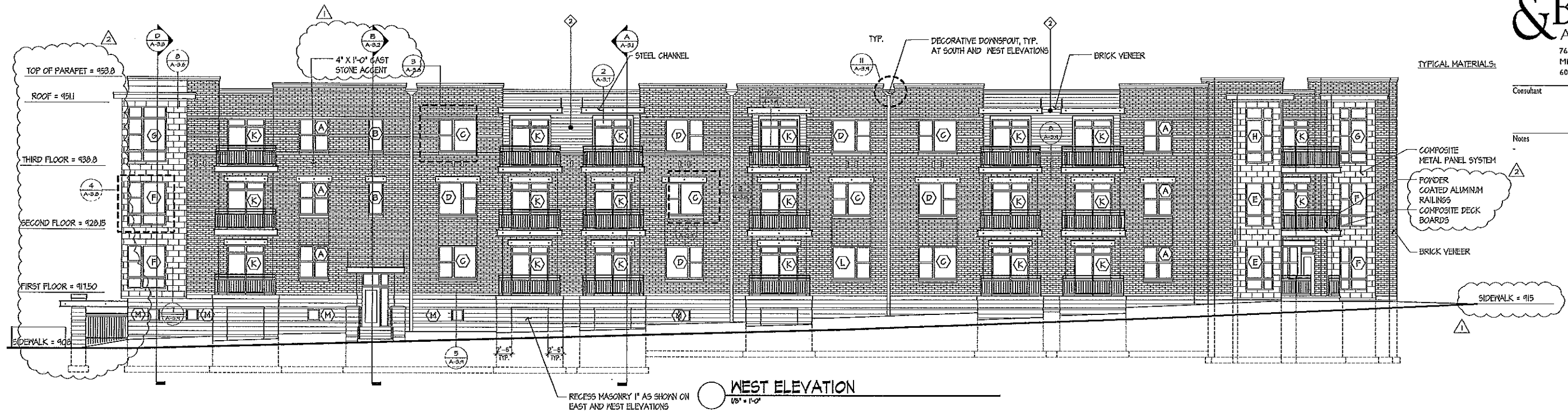
1220

Drawing No.

A-1.0

This document contains confidential or proprietary information of KNOTHE & BRUCE ARCHITECTS. It is to be used only for the project and location specified. It is not to be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of KNOTHE & BRUCE ARCHITECTS.





Revisions
JULY 24, 2012 - NOT FOR CONSTRUCTION
AUGUST 17, 2012 - ISSUED FOR PLAN REVIEW
AUGUST 24, 2012
SEPTEMBER 6, 2012 - PLAN REVIEW
SEPTEMBER 28, 2012 - PLAN REVIEW RESUBMITTAL
OCTOBER 2, 2012 - PLAN REVIEW RESUBMITTAL

Project Title
Nine Springs
Lot 13

Building #1 - 48 Unit
Drawing Title
Elevations

Project No. Drawing No.

1220

A-2.1

This document contains confidential or proprietary information of KNOTHE & BRUCE ARCHITECTS. It is to be used only for the project and site specifically identified herein. It is not to be reproduced, distributed, copied, or otherwise used for any other project without the written consent of KNOTHE & BRUCE ARCHITECTS. KNOTHE & BRUCE ARCHITECTS is a Limited Liability Company of Wisconsin.

MASONRY LINTEL SCHEDULE

OPENING	
1/2" TO 6'-0"	13/16" x 1/2"
7'-0"	13/16" x 3/4"
8'-0"	1 1/4" x 3/4" LLY
9'-0"	1 1/2" x 7/8" LLY

** MINIMUM BEARING LENGTH FOR MASONRY LINTELS IS 6" **

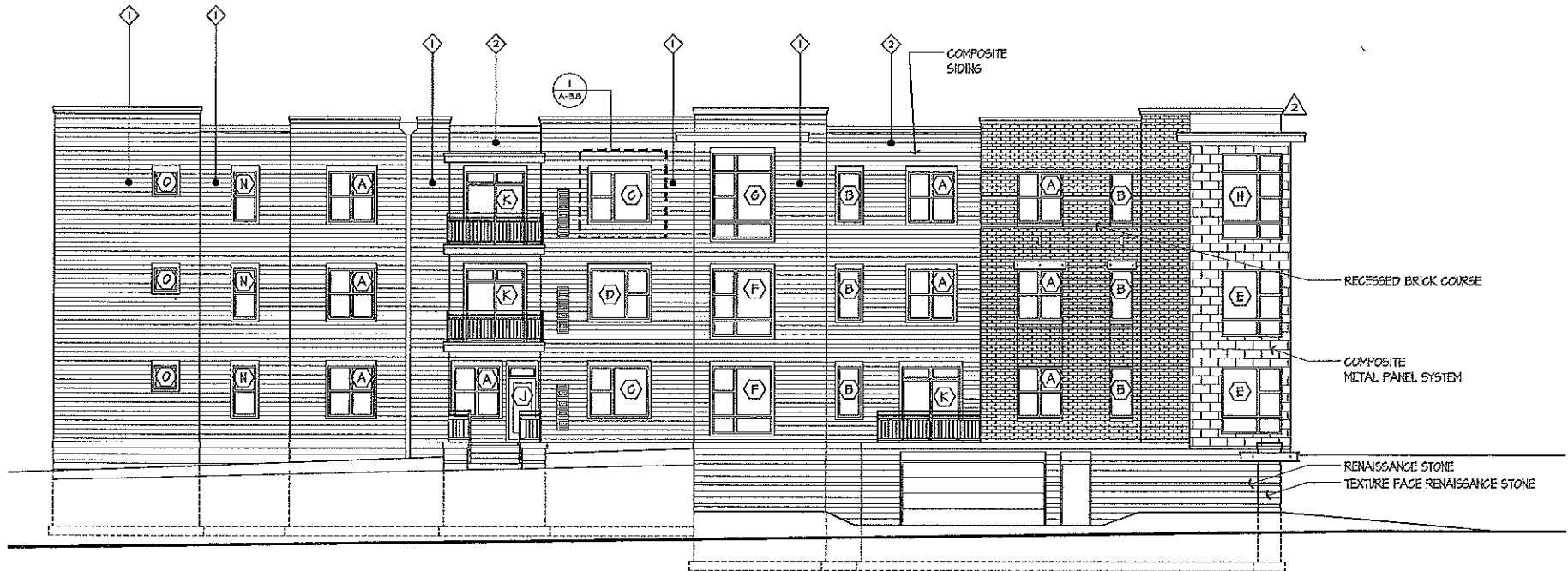
EXTERIOR MATERIAL SCHEDULE

BUILDING MATERIAL	MATERIAL	MANUFACTURER	COLOR
HORIZONTAL SIDING #1	COMPOSITE	JAMES HARDIE	AUTUMN TAN
HORIZONTAL SIDING #2	COMPOSITE	JAMES HARDIE	TIMBER BARK
METAL PANEL	METAL	CMS, COATED METALS GROUP	WESTERN RUST
WINDOW TRIM	COMPOSITE	JAMES HARDIE	AUTUMN TAN
WINDOWS	VINYL	TBD.	CAMEO
RECESSED BRICK VENEER	MASONRY	BRAMPTON BRICK	BROWN VELOUR
BRICK VENEER	MASONRY	SUMMIT BRICK AND TILE COMPANY	ST. CHARLES
MASONRY BASE		RENAISSANCE	HEAT
MORTAR			COLOR TO MATCH MASONRY
FLASHING	STEEL	PAC GLAD	MATCH TO ADJACENT MATERIAL
PRECAST SILL	PRECAST	EDWARDS	TBD.
DOWNEPOUT	ALUMINUM		MATCH TO ADJACENT MATERIAL
DECK TRIM	STEEL CHANNEL		DARK BRONZE
RAILINGS	WOOD		
ENTRY DOORS	ALUMINUM	TBD.	DARK BRONZE
BASEMENT WINDOWS	ALUMINUM	TBD.	DARK BRONZE
GARAGE MAN DOOR	STEEL	TBD.	ALMOND
OVERHEAD GARAGE DOOR	ALUMINUM	TBD.	ALMOND



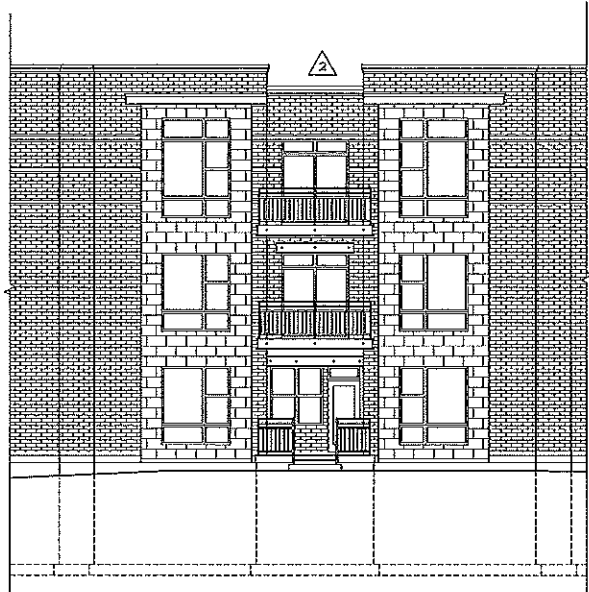
SOUTH ELEVATION

1/8" = 1'-0"



NORTH ELEVATION

1/8" = 1'-0"



SOUTH WEST ELEVATION

1/8" = 1'-0"

- Revisions
- JULY 24, 2012 - NOT FOR CONSTRUCTION
 - AUGUST 11, 2012 - ISSUED FOR PLAN REVIEW
 - AUGUST 24, 2012
 - 1 SEPTEMBER 6, 2012 - PLAN REVIEW
 - 2 REDUCE PARAPET HEIGHT
 - SEPTEMBER 28, 2012 - PLAN REVIEW RESUBMITTAL
 - 3 OCTOBER 2, 2012 - PLAN REVIEW RESUBMITTAL

Project Title
Nine Springs
Lot 13

Building #1 - 48 Unit
Drawing Title
Elevations

Project No. 1220
Drawing No. A-2.2

This document contains confidential or proprietary information of Knothe & Bruce Architects. It is to be used only for the project and location specified. It is not to be reproduced, distributed, copied, or otherwise used in whole or in part without the written consent of Knothe & Bruce Architects. Knothe & Bruce Architects is an Equal Opportunity Employer.

1. ALL PENETRATIONS IN RATED WALLS, AND HORIZONTAL ASSEMBLIES TO BE PROTECTED PER IBC SECT. 712 ALL CONTRACTORS TO SUBMIT FIRESTOP SYSTEMS TO ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.

2. REFERENCE UL DESIGN ASSEMBLIES, PUBLISHED BY UNDERWINTERS LABORATORIES, INC. ONLINE AT <http://www.ul.com>, FOR ADDITIONAL MATERIAL AND CONSTRUCTION REQUIREMENTS. THE GENERAL CONTRACTOR AND ITS SUBCONTRACTORS ARE RESPONSIBLE FOR MEETING THE SYSTEM REQUIREMENTS AS PUBLISHED BY UL.

3. ALL FIRE-RATED WALLS AND FLOOR/CEILING ASSEMBLIES, INCLUDING EXTERIOR WALLS, PARTY WALLS, CORRIDOR AND DEARING WALLS, TO BE CONTINUOUS PAST HVAC SOFFITS, KITCHEN SOFFITS, TUB & SHOWER UNITS, CONCEALED OR FURRED OUT SPACES, ETC. SEE VA-2.5

4. MEP BOXES FROM DIFFERENT DWELLING UNITS SHALL NOT BE LOCATED IN THE SAME SHIELD CAVITY. ALL MECHANICAL ROUGH-IN BOXES LOCATED IN RATED WALLS, (CORRIDOR WALL, PARTY WALL, AND BEARING WALLS) ARE TO BE RATED FOR USE IN SUCH OR WITH APPROVED PROTECTIVE SYSTEM WHICH MAINTAIN WALL RATING. COMPLETELY SEAL GAP BETWEEN BOXES AND GYP. BD. W/ ACoustICAL SEALANT. - SEE ALSO 3/A-35

5. INSTALL PERIMETER ISOLATION MATERIALS AT UNIT SEPARATION WALLS, UNIT CORRIDOR WALLS, AND AT FLOOR-WALL, CEILING-WALL, AND WALL-WALL CONNECTIONS. PRODUCTS AND INSTALLATION AS RECOMMENDED BY GYPSUM MANUFACTURER TO ACHIEVE RESULTS OF SOUND TESTING.

6. ALL RESILIENT CHANNEL SPECIFIED FOR CEILING AND WALL ASSEMBLIES TO BE "RC DELINE" BY DIETRICH INDUSTRIES OR CHANNEL WITH EQUAL OPENING-TO-SOLID RATIO. RESILIENT CHANNEL ON WALLS TO BE INSTALLED WITH THE OPEN SIDE UP.

7. USE MOLD-RESISTANT GYPSUM BOARD IN ALL ASSEMBLIES
IN PARKING GARAGES

8. ALL SLEEPERS, SILL PLATES, POSTS, AND COLUMNS IN CONTACT WITH CONCRETE TO BE TREATED

9. FLEXIBLE DUCTS AND AIR CONNECTORS SHALL NOT PASS THRU ANY RATED ASSEMBLY

10. WALL CAVITIES SHALL BE FIRELOCKED AT FLOOR LINE AND HORIZONTALLY AT 10'-0" INTERVALS

11. USE GLASS MAT FACED GYPSUM SHEATHING FOR ALL PRE-ROCKING OF CONCEALED AREAS PRIOR TO ROOF INSTALLATION AND RATED EXTERIOR APPLICATIONS.

12. SIGNED AND DATED CERTIFICATIONS FOR INSULATION
INSTALLED IN EACH BUILDING ENVELOPE ELEMENT TO BE
POSTED IN CONSPICUOUS PLACE ON JOB SITE PER IECC 303.11

- Revisions
JULY 24, 2012 - NOT FOR CONSTRUCTION
AUGUST 17, 2012 - ISSUED FOR PLAN REVIEW
AUGUST 24, 2012
AUGUST 28, 2012

- 2 OCTOBER 2, 2012 - PLAN REVIEW RESUBMITTAL.



